



HILLINGDON  
LONDON



## North Planning Committee

**Date:** THURSDAY, 19 JULY 2012

**Time:** 7.00 PM

**Venue:** COMMITTEE ROOM 5  
CIVIC CENTRE  
HIGH STREET  
UXBRIDGE  
UB8 1UW

**Meeting  
Details:** Members of the Public and  
Press are welcome to attend  
this meeting

### To Councillors on the Committee

Eddie Lavery (Chairman)  
Allan Kauffman (Vice-Chairman)  
David Allam (Labour Lead)  
Jazz Dhillon  
Carol Melvin  
John Morgan  
David Payne  
Raymond Graham

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INVESTOR IN PEOPLE

# Useful information

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## A useful guide for those attending Planning Committee meetings

### Security and Safety information

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### Petitions and Councillors

**Petitions** -Petitions- When a petition of 20 signatures or more of residents that live, work or study in the borough is received they can speak at a Planning Committee in support of or against an application for up to 5 minutes. Where multiple petitions are received against (or in support of) the same planning application, the Chairman of the Planning Committee has the discretion to amend speaking rights so that there is not a duplication of presentations to the meeting. In such circumstances, it will not be an automatic right that each representative of a petition will get 5 minutes to speak. However, the Chairman may agree a maximum of 10 minutes if one representative is selected to speak on behalf of multiple petitions.

Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

If an application with a petition is deferred and a petitioner has addressed the meeting a new valid petition will be required to enable a representative to speak at a subsequent meeting on this item.

**Ward Councillors** - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

**Committee Members** - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

### How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application. Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant followed by any Ward Councillors;
4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

# Agenda

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## Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the meeting held on 7 June 2012
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part 1 will be considered in public and that the items marked Part 2 will be considered in private

## Reports - Part 1 - Members, Public and Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. Reports are split into 'major' and 'minor' applications. The name of the local ward area is also given in addition to the address of the premises or land concerned.

## Major Applications without a Petition

	Address	Ward	Description & Recommendation	Page
6	Former Reindeer Public House, Maxwell Road, Northwood  18958/APP/2012/1035	Northwood	Minor Material Amendment to planning permission 18958/APP/2011/873 dated 13/07/2011 seeking amendments to balconies of flats 2 & 6, amendments to the internal layouts of flats 2, 3, 4, 5, 6, 7, 8 & 11; amendments of roof and introduction of roof terraces to flats 11 and 12; provision of front doors for flat 4; increase in depth of bays by 460mm provision of doors to front gardens for flat 5 (south east elevation); and amendments to fenestration on south west elevation. (S73 Application for amendment to approved plans under condition 4).  <b>Recommendation : Approval subject to a Section 106 Agreement.</b>	7 – 30  82 –100

## Non Major Applications with a Petition

	Address	Ward	Description & Recommendation	Page
7	81 Shenley Avenue, Ruislip  64555/APP/2012/14	Manor	Erection of 2 x three bedroom semi-detached dwellings with associated amenity space, parking and alterations to vehicular access, involving demolition of existing detached bungalow.  <b>Recommendation : Approval</b>	31 – 50  101-114

## Non Major Applications without a Petition

	Address	Ward	Description & Recommendation	Page
8	Eastcote House and Gardens High Road Eastcote  23846/APP/2012/1133	Eastcote & East Ruislip	Repair works to garden wall, installation of new gate to eastern side of wall and repair of stable block and installation of 2 micro CCTV cameras and burglar alarm to eaves of stable block (Application for Listed Building Consent).  <b>Recommendation : Approval</b>	51 – 58  115-132
9	Sacred Heart RC Primary School Herlwyn Avenue Ruislip  386/APP/2012/750	Manor	Formation of a multi-use games area (MUGA) to the southern boundary of the site to provide all weather play area for pupils of the school.  <b>Recommendation : Approval</b>	59 – 70  133–138

## Other

10. S106 Quarterly Monitoring Report - up to 31st March 2012

Pages 71 - 80

Any Items Transferred from Part 1

Any Other Business in Part 2

## Plans for North Planning Committee

Pages 81 - 138

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**Minutes**

**NORTH PLANNING COMMITTEE**

7 June 2012

Meeting held at Committee Room 5 - Civic Centre,  
High Street, Uxbridge UB8 1UW



	<p><b>Committee Members Present:</b> Councillors Eddie Lavery (Chairman) Allan Kauffman (Vice-Chairman) David Allam (Labour Lead) Carol Melvin John Morgan David Payne Raymond Graham Beulah East</p> <p><b>LBH Officers Present:</b> Matthew Duigan – Planning Service Manager Meg Hirani – Planning Contracts and Planning Information Syed Shah – Principal Highways Engineer Rory Stracey – Planning Lawyer Anne Gerzon – Locum Planning Lawyer (observing) Helen Taylor – Head of Audit and Enforcement Linda Wharton – Planning Enforcement Manager Charles Francis – Democratic Services</p>	
17.	<p><b>APOLOGIES FOR ABSENCE</b> (<i>Agenda Item 1</i>)</p> <p>Apologies for absence were received from Councillor Jazz Dhillon. Councillor Beulah East attended as a substitute.</p>	
18.	<p><b>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING</b> (<i>Agenda Item 2</i>)</p> <p>None.</p>	
19.	<p><b>TO SIGN AND RECEIVE THE MINUTES OF THE PREVIOUS MEETING</b> (<i>Agenda Item 3</i>)</p> <p>The minutes of the meeting held on 17 May 2012 were deferred to 26 June 2012 meeting.</p>	
20.	<p><b>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT</b> (<i>Agenda Item 4</i>)</p> <p>None.</p>	
21.	<p><b>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART 1 WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE</b> (<i>Agenda Item 5</i>)</p>	

	All items were considered in Part 1 with the exceptions of items 13 and 14 which were considered on Part 2.	
22.	<p><b>LYON COURT AND 28-30, PEMBROKE ROAD, RUISLIP - 66985/APP/2011/3049</b> (<i>Agenda Item 6</i>)</p> <p><b>Erection of 3, part 3, part 4 storey blocks, to provide 61 residential units, comprising 25 one bedroom, 27 two bedroom, 8 three bedroom apartments and one 4 bedroom house, together with construction of a new access, associated parking and landscaping, involving demolition of existing buildings and stopping up of existing vehicular access.</b></p> <p><b>Deferred from North Committee 24/05/2012</b></p> <p>Officers introduced the report and drew the Committee's attention to the changes set out in the Addendum.</p> <p>In discussing the application, officers confirmed that the design ensured there was sufficient space for refuse vehicles to access the site safely. The Committee raised concerns about the operation of the gates and asked officers to clarify how these would operate in the event of a power failure. In response, officers confirmed that the operation of the gates could be subject to a pre-commencement condition to ensure Members concerns were met before construction could begin.</p> <p><b>Resolved –</b></p> <p><b>It was moved and seconded that the recommendation for approval be agreed, subject to the following pre-commencement condition.</b></p> <p>19. Prior to the commencement of the development hereby approved details of the access gate to the car park, incorporating facilities for its operation by disabled persons, service delivery vehicles, emergency vehicles and local authority service vehicles and capable of being manually operated in the event of a power failure shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the access gate shall be installed in accordance with the approved details and maintained for so long as the development remains on site.</p> <p><b>REASON</b> To provide safe and adequate access for pedestrians and vehicles accessing the new parking area in accordance with Policy AM7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).</p>	<p><b>Action by</b></p> <p>Matthew Duigan &amp; Meg Hirani</p>
23.	<p><b>IMADA, 12 KADUNA CLOSE, EASTCOTE, 52580/APP/2011/2033</b> (<i>Agenda Item 7</i>)</p> <p><b>Erection of a first floor side extension to provide 2 two-bedroom flats with associated parking and amenity space.</b></p> <p>Officers introduced the report and drew the Committee's attention to</p>	<p><b>Action by</b></p> <p>Matthew Duigan &amp; Meg Hirani</p>



	<p>the changes set out in the Addendum.</p> <p>In accordance with the Council’s constitution, representatives of the petitions received in objection to the application were invited to address the meeting.</p> <p>The petitioners made the following points:</p> <ul style="list-style-type: none"> <li>• The application would have a detrimental impact on Conservation Area</li> <li>• The application would affect the viability of the local Tennis Club</li> <li>• Access and egress to the site was unacceptable</li> <li>• The application would effect local drainage, including the sewer</li> <li>• There was insufficient parking</li> <li>• The application did not include sufficient amenity space.</li> </ul> <p>The applicant / agent did not attend the meeting. No ward Councillors attended the meeting.</p> <p>In discussing the application, the Committee agreed it was important to be guided by the Environment Agency and the proposed development constituted a flood risk to local residents.</p> <p>The recommendation was proposed and seconded and on being put to the vote was unanimously refused.</p> <p><b>Resolved -</b></p> <p><b>That the application would have been refused had an appeal against non-determination not been received.</b></p>	
24.	<p><b>LAND AT JUNCTION OF WARREN ROAD, SWAKELEYS DRIVE, ICKENHAM, 65862/APP/2012/982 (Agenda Item 8)</b></p> <p><b>Installation of a 15m high telecommunications pole, associated antenna, equipment cabinet and ancillary developments works (Consultation Under Schedule 2, Part 24 of the Town and Country Planning (General Permitted Development) Order 1995) (as amended.) Application for prior approval for siting and design</b></p> <p>Officers introduced the report which concerned the installation of a 15m high telecommunications pole, associated antenna and equipment cabinet.</p> <p>In accordance with the Council’s constitution, the representative of the petition received in objection to the application was invited to address the meeting.</p> <p>The petitioner made the following points:</p> <ul style="list-style-type: none"> <li>• The application would have a detrimental impact on the street scene.</li> <li>• The Telecommunications Company had chosen to overlook 9 other possible locations.</li> <li>• The proposed development did not conform to siting guidance or with best practice.</li> </ul>	<p><b>Action by</b></p> <p>Matthew Duigan &amp; Meg Hirani</p>

	<p>The applicant / agent did not attend the meeting. No ward Councillors attended the meeting.</p> <p>In discussing the application, the Committee agreed that the application would have a detrimental effect on the street scene and the chosen location appeared to owe more to the ease of maintenance rather than the concerns of local residents.</p> <p>The officer recommendations were proposed and seconded and on being put to the vote were unanimously refused.</p> <p><b>Resolved –</b></p> <p><b>Agreed (A) That prior approval of siting and design is required and (B) Refusal</b></p>	
25.	<p><b>THE SWAN, BREAKSPEAR ROAD NORTH, HAREFIELD</b> (<i>Agenda Item 9</i>)</p> <p><b>Two storey detached building to contain 2 one-bedroom and 4 two-bedroom, self contained flats with associated parking and amenity space and alterations to existing vehicle crossover to front, (involving demolition of existing building).</b></p> <p>The original planning application was agreed at 26<sup>th</sup> April 2012 meeting but following the planning committee, the level of education contribution was queried by the applicant and it was discovered an error had been made. Therefore further Committee authorisation was sought to correct this error.</p> <p>The recommendation for approval subject to a Section 106 / Unilateral Undertaking was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved – That the Deed of Variation be agreed.</b></p>	<p><b>Action by</b></p> <p>Matthew Duigan &amp; Meg Hirani</p>
26.	<p><b>LAND AT WILLOW FARM (FIELD 3116), JACKETS LANE, HAREFIELD - 57685/APP/2011/1450</b> (<i>Agenda Item 10</i>)</p> <p><b>Permanent use of the land as a gypsy and traveller caravan site and for the keeping and breeding of horses with associated operational development, including the siting of two mobile homes and a touring caravan, retention of two stable blocks, and the formation of a garden area with the erection of a garden shed, yard and paddock areas, parking spaces, landscaping and fencing (Part retrospective application).</b></p> <p><b>Deferred from North Committee 10/01/2012</b></p> <p>This item was withdrawn from the agenda by the Head of Planning.</p>	<p><b>Action by</b></p> <p>Matthew Duigan &amp; Meg Hirani</p>

27.	<p><b>439 VICTORIA ROAD RUISLIP - 67990/APP/2012/728</b> (<i>Agenda Item 11</i>)</p> <p><b>Change of use of from retail (Use Class A1) to financial and professional services (Use Class A2).</b></p> <p>Officers introduced the report which concerned a change of use from retail (use Class A1) to financial and professional services (Use Class A2).</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be approved as per the officer report.</b></p>	<p><b>Action by</b></p> <p>Matthew Duigan &amp; Meg Hirani</p>
28.	<p><b>THE BREAKSPEAR ARMS, BREAKSPEAR ROAD NORTH, HAREFIELD - 10615/APP/2012/488</b> (<i>Agenda Item 12</i>)</p> <p><b>Conservatory to side and provision of 'jumbrella' and outdoor seating areas to exterior of property</b></p> <p>This application was withdrawn by the Applicant.</p>	<p><b>Action by</b></p> <p>Matthew Duigan &amp; Meg Hirani</p>
29.	<p><b>ENFORCEMENT REPORT</b> (<i>Agenda Item 13</i>)</p> <p><i>This item is included in Part II as it contains information which a) is likely to reveal the identity of an individual and b) contains information which reveals that the authority proposes to give, under an enactment, a notice under or by virtue of which requirements are imposed on a person. The authority believes that the public interest in withholding the information outweighs the public interest in disclosing it (exempt information under paragraphs 2 and 6(a) of Part 1 of Schedule 12A to the Local Government (Access to Information) Act 1985 as amended).</i></p> <p>The recommendation set out in the officer's report was moved, seconded and on being put to the vote was agreed.</p> <p><b>Resolved –</b></p> <p><b>1. That the enforcement actions as recommended in the officer's report be agreed.</b></p> <p><b>2. That the Committee resolve to release their decision and the reasons for it outlined in this report into the public domain, solely for the purposes of issuing the formal breach of condition notice to the individual concerned.</b></p> <p><i>The report relating to this decision is not available to the public because it contains information which reveals that the authority proposes (a) to give under any enactment a notice under or by virtue of</i></p>	<p><b>Action by</b></p> <p>Helen Taylor &amp; Linda Wharton</p>

	<i>which requirements are imposed on a person; and (b) to make an order or direction under any enactment and the public interest in withholding the information outweighs the public interest in disclosing it (exempt information under paragraph 6 of Part 1 of Schedule 12A to the Local Government (Access to Information) Act 1985 as amended).</i>	
30.	<p><b>ENFORCEMENT REPORT</b> (Agenda Item 14)</p> <p><i>This item is included in Part II as it contains information which a) is likely to reveal the identity of an individual and b) contains information which reveals that the authority proposes to give, under an enactment, a notice under or by virtue of which requirements are imposed on a person. The authority believes that the public interest in withholding the information outweighs the public interest in disclosing it (exempt information under paragraphs 2 and 6(a) of Part 1 of Schedule 12A to the Local Government (Access to Information) Act 1985 as amended).</i></p> <p>The recommendation set out in the officer's report was moved, seconded and on being put to the vote was agreed.</p> <p><b>Resolved –</b></p> <p><b>1. That the enforcement actions as recommended in the officer's report be agreed.</b></p> <p><b>2. That the Committee resolve to release their decision and the reasons for it outlined in this report into the public domain, solely for the purposes of issuing the formal breach of condition notice to the individual concerned.</b></p> <p><i>The report relating to this decision is not available to the public because it contains information which reveals that the authority proposes (a) to give under any enactment a notice under or by virtue of which requirements are imposed on a person; and (b) to make an order or direction under any enactment and the public interest in withholding the information outweighs the public interest in disclosing it (exempt information under paragraph 6 of Part 1 of Schedule 12A to the Local Government (Access to Information) Act 1985 as amended).</i></p>	<p><b>Action by</b></p> <p>Helen Taylor &amp; Linda Wharton</p>
	The meeting, which commenced at 7.00 pm, closed at 8.05 pm.	

These are the minutes of the above meeting. For more information on any of the resolutions please contact Charles Francis on 01895 556454. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

## Report of the Head of Planning & Enforcement Services

**Address** FORMER REINDEER PUBLIC HOUSE MAXWELL ROAD NORTHWOOD

**Development:** Minor Material Amendment to planning permission 18958/APP/2011/873 dated 13/07/2011 seeking amendments to balconies of flats 2 & 6, amendments to the internal layouts of flats 2, 3, 4, 5, 6, 7, 8 & 11; amendments of roof and introduction of roof terraces to flats 11 and 12; provision of front doors for flat 4; increase in depth of bays by 460mm provision of doors to front gardens for flat 5 (south east elevation); and amendments to fenestration on south west elevation. (S73 Application for amendment to approved plans under condition 4).

**LBH Ref Nos:** 18958/APP/2012/1035

**Drawing Nos:** 6133-PL-002  
6133-PL-003 Rev B  
6133-PL-004 Rev B  
6133-PL-005 Rev B  
6133-PL-006 Rev A  
6133-PL-007  
6133-PL-008 Rev A  
6133-PL-009 Rev A  
6133-PL-010  
6133-PL-011 Rev A  
6133-PL-012  
6133-PL-014  
6133-PL-015  
6133-PL-016  
6133-PL-017 Rev B  
6133-PL-018 Rev A  
6133-PL-019 Rev A  
Design and Access Statement  
Planning Statement  
Trees and Development Report  
TCP-01  
TPP-01  
Environmental Noise Survey & PPG24 Assessment Report  
Energy Assessment  
L1A 2006 Checklist: Design - Draft  
Energy Statement - Appendix 2  
Report on a Ground Investigation  
Sun Study

**Date Plans Received:** 27/04/2012                      **Date(s) of Amendment(s):**

**Date Application Valid:** 27/04/2012

### 1. **SUMMARY**

The application seeks minor material amendments to the planning permission which was granted on the 13 July 2012.

The amendments would not result in any adverse impacts on the amenity of

neighbouring or future occupiers of the development. Further the development would maintain compliance with all other policies as secured under the original permission.

Subject to appropriate conditions and a legal agreement the application is recommended for approval.

## **2. RECOMMENDATION**

**That delegated powers be given to the Head of Planning, Sport and Green Spaces to grant planning permission, subject to the following:**

**1. That the Council enter into a legal agreement with the applicants under Section 106 of the Town and Country Planning Act 1990 (as amended) and/or S278 of the Highways Act (as amended) or other appropriate legislation to secure:**

**(i). Off Site Highways Works**

**ii). Education: A financial contribution for nursery and primary school places in the sum of £28,287.**

**(iii). Health: The Primary Care Trust have sought a contribution towards local primary health care facilities in the sum of £4,554.40.**

**(iv). Community facilities: A contribution in the sum of £10,000 towards expansion of local community facilities has been agreed.**

**(v). Libraries: A contribution in the sum of £483 towards library books has been agreed.**

**(vi). Open space: a contribution in the sum of £28,000 has been agreed towards local open space and recreation improvements (this is in line with the previous application).**

**(vii). Construction Training: A contribution of £ 5,000 towards the cost of providing construction skills training within the Borough has been agreed.**

**(viii). Project Management and Monitoring: A contribution to wards project management and monitoring has been agreed, equal to 5% of the total cash contributions secured from this proposal.**

**2. That the applicant meets the Council's reasonable costs in the preparation of the Legal Agreement and any abortive work as a result of the agreement not being completed.**

**3. If the Legal Agreement(s) has not been finalised before 27/07/12, delegated authority be given to the Head of Planning, Sport and Green Spaces to refuse permission for the following reason:**

**The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development, including the provision of off-site highways works and contributions for education, health, community facilities, libraries, open space provision and construction training. The scheme therefore conflicts with Policies AM2, AM7 and R17 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and the Hillingdon Planning Obligations Supplementary Document (July 2008).**

**4. That officers be authorised to negotiate and agree the detailed terms of the proposed agreement.**

**5. That on completion of the S106 Agreement, the application be deferred for determination by the Head of Planning, Sport and Green Spaces under delegated**

**powers.**

**6. That if the application is approved, the following conditions be attached:**

**1 T8 Time Limit - full planning application 3 years**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 M1 Details/Samples to be Submitted**

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority. Such details shall include:

- (i) fenestration and doors
- (ii) balconies
- (iii) boundary walls and railings
- (iv) external lighting
- (v) comprehensive colour scheme for all built details

**REASON**

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**3 M3 Boundary treatment - details**

No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed before the building is occupied or in accordance with a timetable agreed in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

**REASON**

To safeguard the visual amenities of the area in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**4 RES4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers:

- 6133-PL-002;
- 6133-PL-003 B;
- 6133-PL-004 B;
- 6133-PL-005 B;
- 6133-PL-006 A;
- 6133-PL-007;
- 6133-PL-008 A;
- 6133-PL-009 A;
- 6133-PL-010;
- 6133-PL-011 A;
- 6133-PL-012;

6133-PL-014;  
6133-PL-015;  
6133-PL-016;  
6133-PL-017 B;  
6133-PL-018 A; and  
6133-PL-019 A

and shall thereafter be retained/maintained for as long as the development remains in existence.

**REASON**

To ensure the development complies with the provisions of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and the London Plan (July 2011).

**5 DIS1 Facilities for People with Disabilities**

All the facilities designed specifically to meet the needs of people with disabilities that are shown on the approved plans shall be provided prior to the occupation of the development and thereafter permanently retained.

**REASON**

To ensure that adequate facilities are provided for people with disabilities in accordance with Policy AM13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan Policies 3.1, 3.8 and 7.2.

**6 DIS5 Design to Lifetime Homes Standards & Wheelchair Standards**

All residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards. Further, one of the units hereby approved shall be designed to be fully wheelchair accessible, or easily adaptable for residents who are wheelchair users, as set out in the Council's Supplementary Planning Document 'Accessible Hillingdon'.

**REASON**

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan Policies 3.1, 3.8 and 7.2.

**7 A21 Parking for Wheelchair Disabled People**

Two parking spaces (with dimensions of 4.8m x 3.6m to allow for wheelchair transfer to and from the side of car) shall be reserved exclusively for people using wheelchairs and clearly marked with the Universal Wheelchair Symbol both vertically and horizontally. Such parking spaces shall be sited in close proximity to the nearest accessible building entrance which shall be clearly signposted and dropped kerbs provided from the car park to the pedestrian area. These parking spaces shall be provided prior to the occupation of the development in accordance with the Council's adopted car parking standards and details to be submitted to and approved by the Local Planning Authority. Thereafter, these facilities shall be permanently retained.

**REASON**

To ensure that people in wheelchairs are provided with adequate car parking and convenient access to building entrances, in accordance with Policy AM15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan Policies 3.1, 3.8 and 7.2.

**8 H1 Traffic Arrangements - submission of details**



Development shall not begin until details of all traffic arrangements (including where appropriate carriageways, footways, turning space, safety strips, sight lines at road junctions, kerb radii, car parking areas and marking out of spaces, loading facilities, closure of existing access and means of surfacing) have been submitted to and approved in writing by the Local Planning Authority. The approved development shall not be occupied until all such works have been constructed in accordance with the approved details. Thereafter, the parking areas, sight lines and loading areas must be permanently retained and used for no other purpose at any time. Disabled parking bays shall be a minimum of 4.8m long by 3.6m wide or at least 3.0m wide where two adjacent bays may share an unloading area.

**REASON**

To ensure pedestrian and vehicular safety and convenience and to ensure adequate off-street parking, and loading facilities in compliance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

**9 H13 Installation of gates onto a highway**

No gates shall be installed which open outwards over the highway/footway.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM7 and AM8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**10 NONSC Non Standard Condition**

The access for the proposed development shall be provided with 2.4m x 2.4m pedestrian visibility splays in both directions and the visibility splays shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

**REASON**

In the interest of highway safety in accordance with Policy AM7 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

**11 NONSC Non Standard Condition**

Development shall not begin until details of the shuttle signals with a vehicle detection system at the entrance and exit of the access ramp have been submitted to and approved by the Local Planning Authority. The development shall not be occupied until the works which have been approved by the Local Planning Authority have been completed. Thereafter, these facilities shall be permanently retained.

**REASON**

In the interests of highway safety and in compliance with Policy AM7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**12 H12 Closure of Existing Access**

The existing vehicular access at the site, shall be closed, the dropped kerb removed and the footway reinstated to match the adjoining footway within one month of the new access hereby approved being completed.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM7 and AM8 of the Hillingdon Unitary Development Plan Saved Policies

(September 2007).

**13 H15 Cycle Storage - In accordance with approved plans**

The development hereby permitted, shall not be occupied until the cycle storage facilities for 11 bicycles have been provided in accordance with the approved plans. Thereafter, these facilities shall be permanently retained on site and be kept available for the use of cyclists.

**REASON**

To ensure the provision and retention of facilities for cyclists to the development and hence the availability of sustainable forms of transport to the site in accordance with Policy AM9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 6.9 of the London Plan.

**14 NONSC Non Standard Condition**

Development shall not begin until details of the new vehicular access off Maxwell Road, including details of the pedestrian crossing point (tactile paving) and the relocation of the on street parking bays in Maxwell Road, have been submitted to and approved in writing by the Local Planning Authority. The development shall not be occupied until the works which have been approved by the Local Planning Authority have been completed.

**REASON**

In the interests of highway safety and in compliance with Policy AM7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**15 N1 Noise-sensitive Buildings - use of specified measures**

Development shall not begin until a sound insulation and ventilation scheme for protecting the proposed development from road traffic and other noise has been submitted to and approved in writing by the Local Planning Authority. The scheme shall meet acceptable internal noise design criteria. All works which form part of the scheme shall be fully implemented before the development is occupied and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

**REASON**

To ensure that the amenity of the occupiers of the proposed development is not adversely affected by road traffic and other noise, in accordance with Policy OE5 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 7.15 of the London Plan.

**16 OM11 Floodlighting**

No floodlighting or other form of external lighting shall be installed unless it is in accordance with details which have previously been submitted to and approved in writing by the Local Planning Authority. Such details shall include location, height, type and direction of light sources, light spillage and intensity of illumination. Any lighting that is so installed shall not thereafter be altered without the prior consent in writing of the Local Planning Authority other than for routine maintenance which does not change its details.

**REASON**

To safeguard the amenity of surrounding properties and in the interests of highway safety, in accordance with Policies BE13 and OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 7.1 of the London Plan.

**17 OM14 Secured by Design**

The development hereby approved shall incorporate measures to minimise the risk of crime and to meet the specific security needs of the application site and the development. Details of security measures shall be submitted and approved in writing by the Local Planning Authority before development commences. Any security measures to be implemented in compliance with this condition shall reach the standard necessary to achieve the 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO).

#### REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with policies 7.1 and 7.3 of the London Plan.

#### **18 OM19 Construction Management Plan**

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
- (vii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

#### REASON

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

#### **19 OM2 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

#### REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies

(September 2007).

**20 OM5 Provision of Bin Stores**

The secure and screened storage facilities for refuse and recyclables as shown on the approved plans shall be provided prior to the occupation of any units within the site and thereafter the facilities shall be permanently retained.

**REASON**

To ensure a satisfactory appearance and in the interests of the amenities of the occupiers and adjoining residents, in accordance with Policy OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**21 SUS1 Energy Efficiency Major Applications (full)**

No development shall take place on site until an energy efficiency report has been submitted to, and approved in writing by the Local Planning Authority. The energy efficiency report shall demonstrate how the Mayor's Energy Hierarchy will be integrated into the development, including a full assessment of the site's energy demand and carbon dioxide emissions, measures to reduce this demand and the provision of an 18.16% reduction in the site's carbon dioxide emissions needs through on site renewable energy generation. The energy strategy should clearly define the baseline energy usage which takes account of regulated energy (in accordance with Building Regulations) and unregulated energy (energy use not covered by Building Regulations). The renewable energy figure should be based on the whole energy use. The methods identified within the approved report shall be integrated within the development and thereafter permanently retained and maintained.

**REASON**

To ensure that the development incorporates appropriate energy efficiency measures in accordance with policies 5.1, 5.3, 5.4, 5.5, 5.7, and 5.9 of the London Plan.

**22 SUS5 Sustainable Urban Drainage**

No development shall take place on site until details of the incorporation of sustainable urban drainage have been submitted to, and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed on site and thereafter permanently retained and maintained.

**REASON**

To ensure that surface water run off is handled as close to its source as possible in compliance with policy 5.13 of the London Plan and to ensure the development does not increase the risk of flooding contrary to Policy OE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), policies 5.12 of the London Plan.

**23 TL1 Existing Trees - Survey**

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show:-

- (i) Existing and proposed site levels.
- (ii) Routes of any existing or proposed underground works and overhead lines including their manner of construction.

**REASON**

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure

that the development conforms with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**24 TL2 Trees to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

**REASON**

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

**25 TL3 Protection of trees during site clearance and development**

Prior to the commencement of any site clearance or construction work, the fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained as indicated in Arbtech Consulting Ltd's Tree Report and drawing No. TPP-01, shall be erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and.
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

**REASON**

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**26 TL5 Landscaping Scheme - (full apps where details are reserved)**

No development shall take place until a landscape scheme providing full details of hard and soft landscaping works has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following: -

- Proposed finishing levels or contours,
- Means of enclosure,
- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **27 TL6 Landscaping Scheme - implementation**

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period. The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

#### REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **28 TL7 Maintenance of Landscaped Areas**

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

**REASON**

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Unitary Development Plan (September 2007).

**29 NONSC Non Standard Condition**

All soils used for gardens and/or landscaping purposes shall be clean and free of contamination. Site derived soils and imported soils shall be tested for chemical contamination, and the results of this testing shall be submitted for approval to the Local Planning Authority.

**REASON**

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other off site receptors, in accordance with Policy OE11 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**30 NONSC Non Standard Condition**

No part of the development shall be occupied until details of the method of control for the designation and allocation of parking spaces has been submitted to and approved in writing by the Local Planning Authority. Thereafter, the parking spaces shall be retained for the sole use of the individual flats in accordance with the approved details.

**REASON**

In order to ensure that sufficient parking is provided, in accordance with Policies AM14 and AM15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**31 NONSC Non Standard Condition**

No development shall take place until details of all balconies, including obscure screening have been submitted to and approved by the Local Planning Authority. The approved screening, where necessary, shall be installed before the development is occupied and shall be permanently retained for so long as the development remains in existence.

**REASON**

To ensure that the development presents a satisfactory appearance and to safeguard the privacy of residents in accordance with Policies BE13 and BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**32 NONSC Non Standard Condition**

Prior to development commencing, the applicant shall submit a refuse management plan to the Local Planning Authority for its approval. The plan shall detail how the refuse and recycling bins shall be moved to a predefined collection point and how the service road is to be kept clear of parked vehicles on collection day. The approved measures shall be implemented and maintained for so long as the development remains in existence.

**REASON**

To safeguard the amenity of surrounding areas and in the interests of highway and pedestrian safety, in accordance with Policies OE1 and AM7 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

**33 NONSC Non Standard Condition**

Before development commences, plans and details of one electric vehicle charging point, serving the development and capable of charging multiple vehicles simultaneously, shall be submitted to and approved in writing by the Local Planning Authority.

**REASON**

To encourage sustainable travel and to comply with London Plan Policy 5.3.

**34 D2 Obscured Glazing**

The Oriel windows and non habitable windows in the north east and south west elevations shall be glazed with obscure glass and non-opening except at top vent level, as detailed on approved drawing nos. 6133-PL-009 Rev A, 6133-PL-011 Rev A and 6133-PL-014 for so long as the development remains in existence.

**REASON**

To prevent overlooking to adjoining properties, in accordance with Policy BE24 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

**INFORMATIVES**

**1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.



BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE26	Town centres - design, layout and landscaping of new buildings
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H4	Mix of housing units
H5	Dwellings suitable for large families
OE1	Protection of the character and amenities of surrounding properties and the local area

### **3            I6                    Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

### **4            I2                    Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

### **5            I1                    Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

### **6            I11                    The Construction (Design and Management) Regulations 1994**

The development hereby approved may be subject to the Construction (Design and Management) Regulations 1994, which govern health and safety through all stages of a construction project. The regulations require clients (ie. those, including developers, who commission construction projects) to appoint a planning supervisor and principal contractor who are competent and adequately resourced to carry out their health and safety responsibilities. Further information is available from the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (telephone 020 7556 2100).

### **7            I12                    Notification to Building Contractors**

The applicant/developer should ensure that the site constructor receives copies of all drawings approved and conditions/informatives attached to this planning permission. During building construction the name, address and telephone number of the contractor (including an emergency telephone number) should be clearly displayed on a hoarding visible from outside the site.

### **8            I14C                    Compliance with Building Regulations Access to and use of**

You are advised that the scheme is required to comply with either:-

- The Building Regulations 2000 Approved Document Part M 'Access to and use of buildings', or with

- BS 8300:2001 Design of buildings and their approaches to meet the needs of disabled people - Code of practice. AMD 15617 2005, AMD 15982 2005.

These documents (which are for guidance) set minimum standards to allow residents, workers and visitors, regardless of disability, age or gender, to gain access to and within buildings, and to use their facilities and sanitary conveniences.

You may also be required make provisions to comply with the Disability Discrimination Act 1995. The Act gives disabled people various rights. Under the Act it is unlawful for employers and persons who provide services to members of the public to discriminate against disabled people by treating them less favourably for any reason related to their disability, or by failing to comply with a duty to provide reasonable adjustments. This duty can require the removal or modification of physical features of buildings provided it is reasonable.

The duty to make reasonable adjustments can be effected by the Building Regulation compliance. For compliance with the DDA please refer to the following guidance: -

- The Disability Discrimination Act 1995. Available to download from [www.opsi.gov.uk](http://www.opsi.gov.uk)
- Disability Rights Commission (DRC) Access statements. Achieving an inclusive environment by ensuring continuity throughout the planning, design and management of building and spaces, 2004. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Code of practice. Rights of access. Goods, facilities, services and premises. Disability discrimination act 1995, 2002. ISBN 0 11702 860 6. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Creating an inclusive environment, 2003 & 2004 - What it means to you. A guide for service providers, 2003. Available to download from [www.drc-gb.org](http://www.drc-gb.org).

This is not a comprehensive list of Building Regulations legislation. For further information you should contact Building Control on 01895 250804/5/6 and 8.

## **9            I15            Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

- A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.
- B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.
- C) The elimination of the release of dust or odours that could create a public health nuisance.
- D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic

Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**10**        I16                    **Directional Signage**

You are advised that any directional signage on the highway is unlawful. Prior consent from the Council's Street Management Section is required if the developer wishes to erect directional signage on any highway under the control of the Council.

**11**        I19                    **Sewerage Connections, Water Pollution etc.**

You should contact Thames Water Utilities and the Council's Building Control Service regarding any proposed connection to a public sewer or any other possible impact that the development could have on local foul or surface water sewers, including building over a public sewer. Contact: - The Waste Water Business Manager, Thames Water Utilities plc, Kew Business Centre, Kew Bridge Road, Brentford, Middlesex, TW8 0EE.  
Building Control Service - 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

**12**        I21                    **Street Naming and Numbering**

All proposed new street names must be notified to and approved by the Council. Building names and numbers, and proposed changes of street names must also be notified to the Council. For further information and advice, contact - The Street Naming and Numbering Officer, Planning & Community Services, 3 North Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250557).

**13**        I25A                    **The Party Wall etc. Act 1996**

On 1 July 1997, a new act, The Party Wall etc. Act 1996, came into force.

This Act requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:-

- 1) carry out work to an existing party wall;
- 2) build on the boundary with a neighbouring property;
- 3) in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations or planning controls. Building Control will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by Building Control should be taken as removing the necessity for the building owner to comply fully with the Act.

**14**        I3                        **Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further

information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

**15**      19                      **Community Safety - Designing Out Crime**

Before the submission of reserved matters/details required by condition x you are advised to consult the Metropolitan Police's Crime Prevention Design Advisor, Planning & Community Services, Civic Centre, Uxbridge, UB8 1UW (Tel. 01895 250538).

**16**

It is contrary to section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system. The hard standing shall therefore be so designed and constructed that surface water from the private land shall not be permitted to drain onto the highway or into the highway drainage system.

**17**

With regard to the external materials (condition 2), you are advised that it will be important to ensure that the materials match those older buildings in the locality. The drawings are annotated as being dark red/brown tiles and these are considered appropriate. The drawings also show stock brick, which should be a deep red, rather than the yellow/buff shown in the perspectives.

**18**

In seeking to discharge condition 30 (car parking), the applicant is advised that the preferred solution is to allocate 2 parking spaces each for the 3 bedroom flats and 1 space each for the smaller units.

**19**

With regard to surface water drainage it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777. With regard to water supply, this comes within the area covered by the Three Valleys Water Company.

**20**

Specific security needs identified for the application site include CCTV coverage of certain key areas within the development, namely the underground car park and the main vehicular entrance to the development. This could be a simple fixed camera system for deterrence and retrospective investigation only and not monitored system. You are advised to submit details to expedite the specified security needs. In addition to the above, for this site to achieve 'Secured by Design' accreditation, you are advised to consult with the local Police Crime Prevention Design Adviser (CPDA). The CPDA's contact number is 0208 246 1769.

**21**

The developer is requested to maximise the opportunities to provide high quality work experience for young people (particularly the 14 - 19 age group) from the London Borough of Hillingdon, in such areas as bricklaying, plastering, painting and decorating, electrical installation, carpentry and landscaping in conjunction with the Hillingdon Education and Business Partnership.

## **22**

Your attention is drawn to conditions 2, 4, 8, 10, 11, 14, 16, 17, 18, 20, 21, 22, 24, 26, 28, 30, 31 and 34, which must be discharged prior to the commencement of works. You will be in breach of planning control should you commence these works prior to the discharge of these conditions. For further information and advice contact: Planning and Community and Environmental Services Group, Civic Centre, Uxbridge (Tel: 01895 250230).

## **23**

You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Acts.

## **24**

The applicant is encouraged to discuss with Council officers in conjunction with the Metropolitan Police Crime Prevention Officer whether on site CCTV cameras can be linked to the Council's central CCTV system.

## **25**

You are advised that the development hereby approved represents chargeable development under the Mayor's Community Infrastructure Levy. At this time the Community Infrastructure Levy is estimated to be £ which is due on commencement of this development. The actual Community Infrastructure Levy will be calculated at the time your development is first permitted and a separate liability notice will be issued by the Local Planning Authority. Should you require further information please refer to the Council's Website [www.hillingdon.gov.uk/index.jsp?articleid=24738](http://www.hillingdon.gov.uk/index.jsp?articleid=24738)

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The site formally comprised the Reindeer Public house plus ancillary accommodation, an ancillary six bedroom residential apartment and 20 off-street parking spaces. In addition land to the front of the former public house building was utilised for a further three car parking spaces. The building has already been demolished and the site is currently cleared and boarded.

The site has an area of approximately 0.1493 hectares and is located in Green Lane Northwood Minor Town Centre. The site is positioned between the Primary Shopping Area and a residential area to the west, outside the town centre boundary. To the north west is a small non-designated commercial business area. The site is within an aviation height restriction area.

The site falls within the Northwood Town Centre, Green Lane Conservation Area, which was designated on 2 December 2009.

#### **3.2 Proposed Scheme**

Planning Permission for the erection of a part two, part three, part four storey building comprising 12 flats, with associated surface and basement car parking, secured cycle parking, bin store and alterations to vehicular access was granted on the 13 July 2011.

The current application seeks a minor material amendment under S73 of the Town and Country Planning Act to alter the approved scheme as set out below:

Amendments to balconies of flats 2 & 6;  
Amendments to the internal layouts of flats 2, 3, 4, 5, 6, 7, 8 & 11;  
Amendments of roof and introduction of roof terraces to flats 11 and 12;  
Provision of front door to unit 4;  
Increase in depth of bays by 460mm and provision of doors to front gardens for flats 5 (south east elevation); and  
Amendments to fenestration on south west elevation.

It should be noted that a number of amendments contained under the current application have already been consented under Section 96a of the Town and Country Planning Act (Ref: 18958/APP/2012/980 dated 22/05/2012). The additional changes are limited to the following:

- (i) Amendments to roof and introduction of roof terraces to flats 11 and 12
- (ii) Increase in depth of bays by 460mm for flat 5

### 3.3 Relevant Planning History

18958/APP/2011/873      Former Reindeer Public House Maxwell Road Northwood  
Erection of a part two, part three, part four storey building comprising 12 flats, with associated surface and basement car parking, secured cycle parking, bin store and alterations to vehicular access.

**Decision:** 11-07-2011    Approved

18958/APP/2012/980      Former Reindeer Public House Maxwell Road Northwood  
Non-material amendments to planning permission 18958/APP/2011/873 dated 13/07/2011 seeking amendments to balconies of flats 2 & 6, amendments to the internal layouts of flats 2, 3, 4, 5, 6, 7, 8 & 11; amendments of roof and introduction of roof lights to flat 12; provision of doors to front gardens for flats 4 & 5 (south east elevation); and amendments to fenestration on south west elevation.

**Decision:** 22-05-2012    Approved

#### Comment on Relevant Planning History

The application site has quite an extensive planning history, the most relevant of which is set out below.

Of particular note alterations to the approved design, have been approved via the Non-Material Amendment procedure under Section 96a of the Town and Country Planning Act. This is where the applicant seeks approval for changes to a scheme not considered to be at all material. These consisted off:

Amendments to balconies of flats 2 & 6;  
Amendments to the internal layouts of flats 2, 3, 4, 5, 6, 7, 8 & 11 (These did not alter the number of bedrooms, total floor area or any material aspect of the layout);  
Amendments of roof and introduction of roof lights to flat 12; and  
The provision of doors to front gardens for flats 4 & 5 (south east elevation); and  
Amendments to fenestration on south west elevation.

It should be noted that some of the amendments contained under the current application

already benefit from approval under the above consent. As such consideration is limited to the following changes:

- (i) Amendments to roof and introduction of roof terraces to flats 11 and 12
- (ii) Increase in depth of bays by 460mm for flat 5

These two changes were not approved under Section 96A of the Act as officers advised that they would require full consultation with all neighbours as is required under a S73 minor material amendment.

#### **4. Planning Policies and Standards**

##### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

- AM14 New development and car parking standards.
- AM15 Provision of reserved parking spaces for disabled persons
- AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
- AM7 Consideration of traffic generated by proposed developments.
- AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
- BE13 New development must harmonise with the existing street scene.
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE22 Residential extensions/buildings of two or more storeys.
  
- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE26 Town centres - design, layout and landscaping of new buildings
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- H4 Mix of housing units
- H5 Dwellings suitable for large families
- OE1 Protection of the character and amenities of surrounding properties and the local area

#### **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- Not applicable

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

73 nearby owners and occupiers, including the Northwood Residents Associated were consulted on the application. No comments have been received in respect of this consultation.

### **Internal Consultees**

URBAN DESIGN AND CONSERVATION:

No objection to the proposed changes on design grounds.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The principle of the development has been established under the original grant of planning permission (Ref: 18958/APP/2011/873).

### **7.02 Density of the proposed development**

The density of the development has been established under the original grant of planning permission (Ref: 18958/APP/2011/873).

### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The proposal would have no additional impact on archaeology over those considered under the original consent.

The proposed changes would have a minimal impact on the external appearance of the building. The proposed amendments would not have any adverse impacts on the character of the Northwood Town Centre, Green Lane Conservation Area or the setting of the nearby Northwood Police Station which is Grade II listed. The Council's Urban Design and Conservation Officer has reviewed the proposals and raises no objection.

### **7.04 Airport safeguarding**

The proposal would not have any additional impact on airport safeguarding over that considered within the original grant of planning permission (Ref: 18958/APP/2011/873).

### **7.05 Impact on the green belt**

The application is not located within or in proximity to the Metropolitan Green Belt.

### **7.06 Environmental Impact**

The proposal would not have any environmental impacts over those considered within the original grant of planning permission (Ref: 18958/APP/2011/873).

### **7.07 Impact on the character & appearance of the area**

The proposed changes would have a minimal impact on the external appearance of the building. The proposed amendments would not have any adverse impacts on the character of the Northwood Town Centre, Green Lane Conservation Area or the setting of the nearby Northwood Police Station which is Grade II listed. The Council's Urban Design and Conservation Officer has reviewed the proposals and raises no objection.

### **7.08 Impact on neighbours**

The proposed terraces serving units 11 and 12 would both benefit from full height privacy screens as shown on the approved plans, as such the proposals would not result in any loss of privacy to neighbouring properties and the scheme would accord with Policy BE24 of the Saved Policies UDP in this respect.

The proposed changes would not result in any other impacts on the amenity of neighbouring occupiers.

### **7.09 Living conditions for future occupiers**



Policy BE24 of the Saved Policies UDP requires that new development benefit from adequate levels of privacy.

The proposed terraces serving units 11 and 12 would both benefit from full height privacy screens as shown on the approved plans, as such the proposals would not result in any loss of privacy to other units within the development.

In terms of the proposal to extend the bay serving unit 5 and introduce doors, the submitted drawings demonstrate that there is adequate scope for the realignment of the footpath in this location which would increase the separation of the footpath from the bay. The detailed location of the footpath and soft landscaping in this area could be secured under the landscaping condition. Accordingly, it is not considered that the amendment would have any significant adverse impact on the privacy of this future occupier.

In terms of overall amenity provision for the future occupiers, the units within the proposed development would maintain compliance with the Council's internal floorspace standard, however the proposal would increase the level of external amenity space available for units 11 and 12.

Overall, it is considered that the development as proposed would maintain an appropriate environment for future occupiers.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

The proposal would not alter any of the arrangement in respect of parking, cycle parking, or vehicular access which were previously agreed within the original grant of planning permission (Ref: 18958/APP/2011/873).

#### **7.11 Urban design, access and security**

Issues of design and access have been discussed elsewhere in the relevant sections of this report.

In respect of security, it is not considered that the proposal would have any significant adverse impacts in terms of security. A condition would ensure that the scheme needed to comply with Secured by Design Standards.

#### **7.12 Disabled access**

The proposals would not alter the level of accessibility achieved within the development from that previously agreed within the original grant of planning permission (Ref: 18958/APP/2011/873). The scheme would retain appropriate internal layouts to comply with Lifetime Homes Standards and an appropriate number of disabled units would be provided.

#### **7.13 Provision of affordable & special needs housing**

The original grant of planning permission (Ref: 18958/APP/2011/873) did not secure any affordable housing, as it was demonstrated that this was not viable. The proposed amendments would not increase the viability of the development and accordingly the scheme would still provide no affordable housing.

#### **7.14 Trees, Landscaping and Ecology**

The proposal would not significantly alter the development in terms of landscaping, trees and ecology from the scheme previously agreed within the original grant of planning permission (Ref: 18958/APP/2011/873). It is noted that that detailed landscaping and tree protection conditions are attached to the recommendation which would enable the final detailed layout of the frontage to be approved.

#### **7.15 Sustainable waste management**

The proposal would not alter the development in terms of waste management or storage from the scheme previously agreed within the original grant of planning permission (Ref: 18958/APP/2011/873).

#### **7.16 Renewable energy / Sustainability**

The proposal would not alter the development in terms of renewable energy/sustainability from the scheme previously agreed within the original grant of planning permission (Ref: 18958/APP/2011/873).

#### **7.17 Flooding or Drainage Issues**

There are no specific flooding or drainage issues associated with this application, and the proposal would not alter the development in terms of drainage or flood risk.

#### **7.18 Noise or Air Quality Issues**

The proposal would result in no additional impacts on noise or air quality over those considered within the original grant of planning permission (Ref: 18958/APP/2011/873).

#### **7.19 Comments on Public Consultations**

No comments were received as a result of the public consultation.

#### **7.20 Planning Obligations**

The original Grant of planning permission secured the following planning obligations by way of a legal agreement:

1. Education: A financial contribution for nursery and primary school places in the sum of £28,287.
2. Health: The Primary Care Trust have sought a contribution towards local primary health care facilities in the sum of £4,554.40.
4. Community facilities: A contribution in the sum of £10,000 towards expansion of local community facilities has been agreed.
5. Libraries: A contribution in the sum of £483 towards library books has been agreed.
6. Open space: a contribution in the sum of £28,000 has been agreed towards local open space and recreation improvements (this is in line with the previous application).
7. Construction Training: A contribution of £ 5,000 towards the cost of providing construction skills training within the Borough has been agreed.
8. Project Management and Monitoring: A contribution towards project management and monitoring has been agreed, equal to 5% of the total cash contributions secured from this proposal.

It was also required that the developer enter into a S278 Agreement, to enable the delivery of off site highways works, including the formation of a new access off Maxwell Road which would affect on street parking bays.

Subject to a legal agreement to ensure that these matters are delivered in relation to this application the proposal would adequately mitigate the impacts of the development and would accord with Policy R17 of the Saved Policies SPD and the Planning Obligations SPD.

The proposed amendment would be liable for a payment towards the Mayoral Community Infrastructure Levy under the current regulations and an informative is recommended in this respect.

#### **7.21 Expediency of enforcement action**

There are no enforcement issues associated with this site.

#### **7.22 Other Issues**

There are no other issues relating to this application.

## **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

## **9. Observations of the Director of Finance**

Not applicable to this application.

## **10. CONCLUSION**

The application seeks minor material amendments to the planning permission which was granted on the 13 July 2011.

The amendments would not result in any adverse impacts on the amenity of neighbouring or future occupiers of the development. Further the development would maintain compliance with all other policies as secured under the original permission.

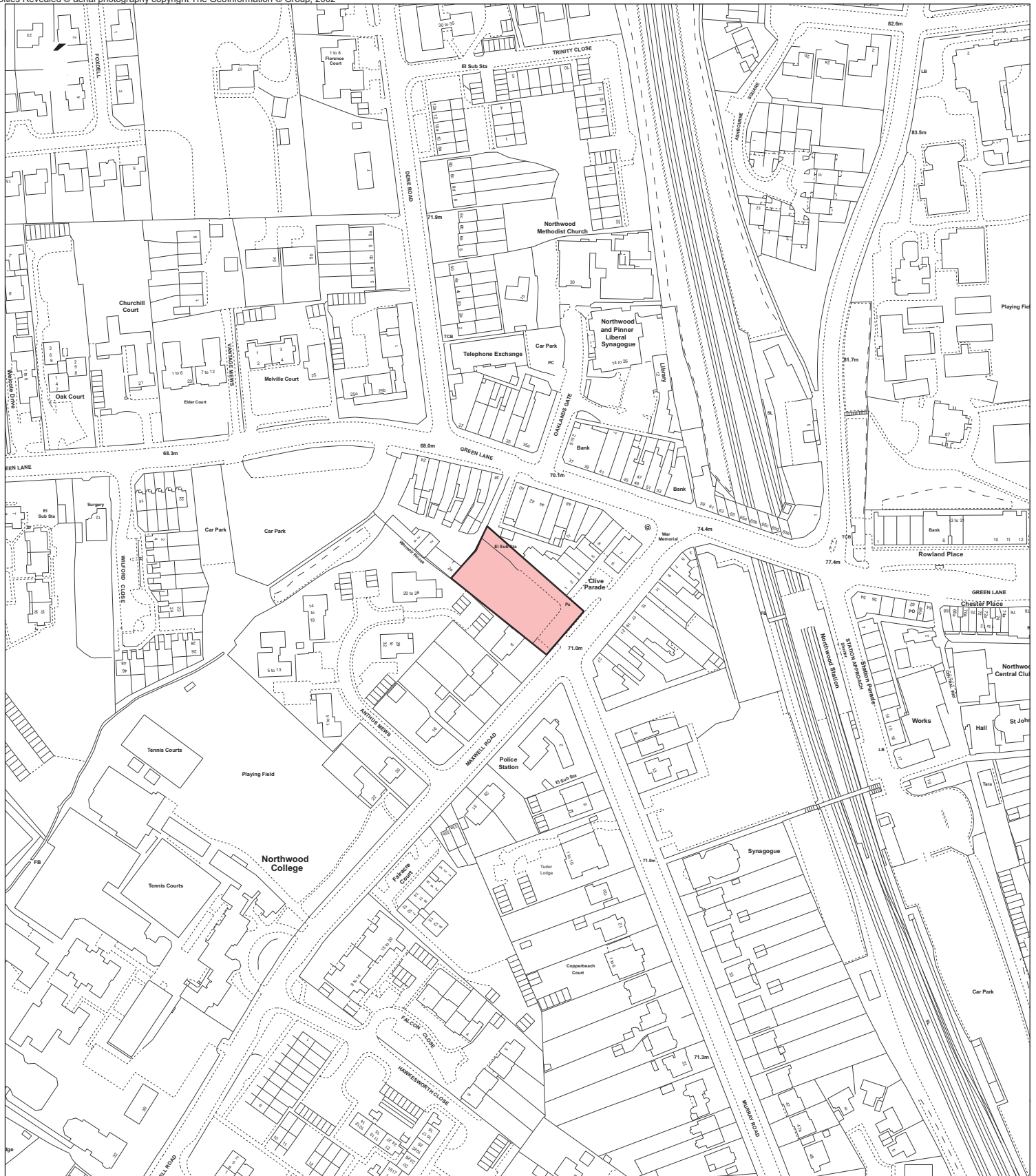
Subject to appropriate conditions and a legal agreement the application is recommended for approval.

## **11. Reference Documents**

National Planning Policy Framework (NPPF)  
The London Plan

**Contact Officer:** Richard Phillips

**Telephone No:** 01895 250230



**Notes**



Site Boundary

For identification purposes only.

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Site Address

**Former Reinder Public House,  
Maxwell Road,  
Northwood**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:

**18958/APP/2012/1035**

Scale

**1:1,250**

Planning Committee

**North**

Date

**July 2012**

Page 30



**HILLINGDON**  
LONDON

## Report of the Head of Planning & Enforcement Services

**Address** 81 SHENLEY AVENUE RUISLIP

**Development:** Erection of 2 x three bedroom semi-detached dwellings with associated amenity space, parking and alterations to vehicular access, involving demolition of existing detached bungalow.

**LBH Ref Nos:** 64555/APP/2012/14

**Drawing Nos:** 81 SHEN/JH-007  
81/SAR/05A  
81/SAR/07  
81SHEN/JH-001 Rev A  
81 SHEN/JH-006 Rev A  
Design and Access Statement  
Proposed Perspective  
81/SAR/01 Rev. B  
81/SAR/02 Rev. C  
81/SAR/03 Rev. C  
81/SAR/08 Rev. B  
81/SAR/06 Rev. B  
81/SAR/04 Rev. D

**Date Plans Received:** 06/01/2012                      **Date(s) of Amendment(s):** 06/01/2012  
**Date Application Valid:** 06/01/2012                      24/04/2012  
01/05/2012  
05/07/2012

### 1. SUMMARY

This application seeks permission to demolish the existing bungalow and erect a pair of semi-detached three-bedroom houses with associated off-street car parking.

No objections are raised to the loss of the bungalow and the proposed houses are considered to adequately harmonise and present a satisfactory appearance within the street scene.

It is considered that the proposed house would present an acceptable appearance within the street scene, replicating the height and design of adjoining properties. Although the houses would extend to the side boundaries on the ground floor and therefore not be set off a minimum of 1m from the side boundaries for their full height, the predominant character of this part of Shenley Avenue comprises semi-detached houses with side garages built up to their side boundaries, some of which have been converted to habitable accommodation. Although the houses do project beyond adjoining houses at the rear, it is not considered that this would be unduly detrimental to the amenity of adjoining properties. The proposed house would provide an acceptable standard of residential accommodation and adequate off-street parking. The proposal is recommended for approval.

### 2. RECOMMENDATION

**APPROVAL** subject to the following:

1            RES3            Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990

**2 RES4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and the London Plan (July 2011).

**3 RES6 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**4 RES7 Materials (Submission)**

No development shall take place until details of all materials and external surfaces, including details of balconies have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such. Details should include information relating to make, product/type, colour and photographs/images.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**5 RES9 Landscaping**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping

1.a Planting plans (at not less than a scale of 1:100),

1.b Written specification of planting and cultivation works to be undertaken,

1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

2. Details of Hard Landscaping

2.a Means of enclosure/boundary treatments

2.b Car Parking Layouts

2.c Hard Surfacing Materials

### 3. Details of Landscape Maintenance

3.a Landscape Maintenance Schedule for a minimum period of 5 years.

3.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.

### 4. Schedule for Implementation

#### 5. Other

5.a Existing and proposed functional services above and below ground

5.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policies 5.11 (living walls and roofs) and 5.17 (refuse storage) of the London Plan.

### **6 RES12 No additional windows or doors**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved facing 79 and 83 Shenley Avenue.

#### REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **7 RES13 Obscure Glazing**

The first floor bathroom window(s) facing 79 and 83 Shenley Avenue shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

#### REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **8 RES14 Outbuildings, extensions and roof alterations**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to any dwellinghouse(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

#### REASON

To protect the character and appearance of the area and amenity of residential occupiers in accordance with policies BE13, BE21, BE23 and BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

RES15

No development approved under **Sustainable Water Management (changed from SUDS)** for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

#### REASON

To ensure the development does not increase the risk of flooding in accordance with Policy OE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (July 2011) Policy 5.12.

#### **10 RES16 Code for Sustainable Homes**

The dwelling(s) shall achieve Level 4 of the Code for Sustainable Homes. No development shall commence until a signed design stage certificate confirming this level has been received. The design stage certificate shall be retained and made available for inspection by the Local Planning Authority on request.

The development must be completed in accordance with the principles of the design stage certificate and the applicant shall ensure that completion stage certificate has been attained prior to occupancy of each dwelling.

#### REASON

To ensure that the objectives of sustainable development identified in London Plan (July 2011) Policies 5.1 and 5.3.

#### **11 RES18 Lifetime Homes/Wheelchair Units**

All residential units within the development hereby approved shall be built in accordance with Lifetime Homes Standards as set out in the Council's Supplementary Planning Document Accessible Hillingdon.

#### REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (July 2011) Policies 3.1, 3.8 and 7.2

#### **12 RES23 Visibility Splays - Pedestrian**

The access for the proposed car parking shall be provided with those parts of 2.4m x 2.4m pedestrian visibility splays which can be accommodated within the site in both



directions and shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

**REASON**

In the interests of highway and pedestrian safety in accordance with policy AM7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**13 RES24 Secured by Design**

The dwelling(s) shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No dwelling shall be occupied until accreditation has been achieved.

**REASON**

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with London Plan (July 2011) Policies 7.1 and 7.3.

**14 NONSC Non Standard Condition**

Before any part of the development is occupied, site derived soils and imported soils shall be tested for chemical contamination, and the results of this testing shall be submitted and approved in writing by the Local Planning Authority. All soils used for gardens and/or landscaping purposes shall be clean and free of contamination.

**REASON**

To ensure that the occupants of the development are not subject to any risks from soil contamination in accordance with policy OE11 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**15 MRD8 Education Contributions**

Before the development hereby permitted is commenced, a scheme shall be submitted to, and approved in writing by the Local Planning Authority detailing how additional or improved educational facilities will be provided within a 3 miles radius of the site to accommodate the nursery, primary and secondary school child yield arising from the proposed development. This shall include a timescale for the provision of the additional/improved facilities. The approved means and timescale of accommodating the child yield arising from the development shall then be implemented in accordance with the agreed scheme.

**REASON:**

To ensure the development provides an appropriate contribution to educational facilities within the surrounding area, arising from the proposed development, in accordance with Policy R17 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007) and the Council's Supplementary Planning Guidance on Educational Facilities.

**INFORMATIVES**

**1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

## **2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

NPPF	National Planning Policy Framework (March 2012)
LPP 3.1	(2011) Ensuring equal life chances for all
LPP 3.3	(2011) Increasing housing supply
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 3.8	(2011) Housing Choice
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
LPP 5.3	(2011) Sustainable design and construction
LPP 5.13	(2011) Sustainable drainage
LPP 5.15	(2011) Water use and supplies
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
H3	Loss and replacement of residential accommodation
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006

**3 11 Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

**4 12 Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

**5 13 Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

**6 15 Party Walls**

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

- carry out work to an existing party wall;
- build on the boundary with a neighbouring property;
- in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

**7 16 Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

**8 115 Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

#### **9            I23            Works affecting the Public Highway - Vehicle Crossover**

The development requires the formation of a vehicular crossover, which will be constructed by the Council. This work is also subject to the issuing of a separate licence to obstruct or open up the public highway. For further information and advice contact: - Highways Maintenance Operations, 4W/07, Civic Centre, Uxbridge, UB8 1UW.

#### **10           I23A            Re-instatement of a Vehicle Access.**

You are advised by London Borough of Hillingdon, Highways Management, that any works on the Highway, in relation to the reinstatement of any existing vehicle access, must be carried out with approval from the Highway Authority. Failure to reinstate an existing vehicle access will result in the Highway Authority completing the works, and the developer may be responsible for the costs incurred. Enquiries should be addressed to: Highways Maintenance, 4W/07, Civic Centre, Uxbridge, UB8 1UW.

#### **11           I45            Discharge of Conditions**

Your attention is drawn to condition(s) 3, 4, 5, 9, 10 and 15 which must be discharged prior to the commencement of works. You will be in breach of planning control should you commence these works prior to the discharge of this/these condition(s). The Council may consider taking enforcement action to rectify the breach of this condition(s). For further information and advice contact - Planning & Community Services, Civic Centre, Uxbridge, UB8 1UW (Tel: 01895 250230).

#### **12**

In respect of Condition 15, you are advised that the Council considers that one way to ensure compliance with this condition is to enter into an agreement with the Council to ensure the provision of additional educational facilities locally proportionate to the needs arising from the development.

### **3.            CONSIDERATIONS**

#### **3.1           Site and Locality**

The application site is located on the south eastern side of Shenley Avenue, some 170m

to the north east of its junction with Cranley Drive. The site comprises a double fronted bungalow with projecting bays and a front dormer, together with an attached side garage.

The site is adjoined by pairs of semi-detached houses with attached garages on the side boundaries of the application site and opposite there are similar semi-detached houses. At the rear of the site, are the playing fields of the Ruislip Manor Sports and Social Club.

Shenley Avenue in this vicinity predominantly comprises semi-detached houses, very many of which have attached side garages which abut their side boundaries. These are interspersed by detached bungalows. The ground rises slightly to the east along Shenley Avenue so that properties to the west are some 300-400mm lower than their neighbour.

The application site forms part of the 'developed area' as designated in the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **3.2 Proposed Scheme**

This application seeks permission to demolish the existing bungalow and erect a pair of semi-detached three-bedroom houses with associated off-street car parking and amenity space. The scheme has been amended and the proposed houses would now extend to the side boundaries on the ground floor, although set in 1.8m from the side boundaries at first floor. The proposed houses would maintain the front building line and have hipped roofs, with a small element of flat roof, 5.0m high to eaves level, 8.69m high to the ridge which would be similar to the roof height of adjoining properties. The flat roof element would accommodate a shared chimney stack. With a main two storey depth of 11.06m, the houses would project approximately 3m from adjoining properties with a small rear kitchen addition projecting a further 1.6m.

The houses would have a two storey semi-circular projecting bay at the front, with a porch and mono-pitched canopy extending across the front elevation, with a smaller first floor bay window above, similar to adjoining properties. The canopy roof would have a ridge height of 3.3m, with the flat roof side elements and rear kitchen addition having heights of 2.65m.

Two car parking spaces for each house would be provided in the front garden.

The application is supported by a Design and Access Statement.

### **3.3 Relevant Planning History**

#### **Comment on Relevant Planning History**

An outline application (64555/APP/2008/1569) to demolish the existing bungalow and erect a detached building comprising 3 x two-bedroom and 1 x one-bedroom duplex units with associated parking and amenity space was refused on 14/8/08 for the following reasons:

1. The proposed development represents an unacceptably high density of development contrary to the Council's Supplementary Planning Guidance on Residential Layouts and Table 3A.2 of the London Plan 2008 and, by reason of its size, bulk, design and frontage parking area, would result in an over dominant and incongruous form of development, which would be out of keeping with the character of the surrounding area and detrimental to the visual amenities of the street scene. The proposal would therefore be contrary to Policies BE13, BE19 and BE20 of the Hillingdon Unitary Development Plan Saved Policies September 2007.

2. The proposed development fails to provide an adequate amount of amenity space for each unit. In addition the proposed amenity space would fail to protect the privacy of the occupiers of the rear facing units, detrimental to the residential amenity of future occupiers of the development. As such, the proposal would be contrary to advice in the Council's Supplementary Planning Guidance on Residential Layouts and Policies BE23 and BE24 of the Hillingdon Unitary Development Plan Saved Policies September 2007.

3. The proposed development would fail to meet relevant Lifetime Homes Standards, contrary to Policy 3A.5 of the London Plan 2008 and the design principles contained within the Hillingdon Design and Accessibility Statement: Residential Layouts and the Hillingdon Design and Accessibility Statement: Accessible Hillingdon.

4. The proposal fails to make adequate bin store provision, contrary to Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies September 2007 and the Hillingdon Design and Accessibility Statement: Residential Layouts.

5. The proximity of the ground floor front windows to the communal parking area would result in a loss of residential amenity to future occupants, contrary to Policy BE24 of the Hillingdon Unitary Development Plan Saved Policies September 2007.

6. The proposed building by reason of its siting, size, bulk and high density would result in an over dominant form of development in relation to the neighbouring properties at 79 and 83 Shenley Avenue and, as such, would constitute an un-neighbourly form of development, resulting in a material loss of residential amenity. The proposal is therefore contrary to Policies BE13, BE19, BE20 and BE21 of the Hillingdon Unitary Development Plan Saved Policies September 2007 and the Council's Supplementary Planning Document on Residential Layouts.

An appeal was subsequently lodged and dismissed on 2/2/09.

#### **4. Planning Policies and Standards**

##### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.

PT1.16 To seek to ensure enough of new residential units are designed to wheelchair and mobility standards.

PT1.30 To promote and improve opportunities for everyone in Hillingdon, including in particular women, elderly people, people with disabilities and ethnic minorities.

PT1.39 To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.

Part 2 Policies:

NPPF National Planning Policy Framework (March 2012)

LPP 3.1	(2011) Ensuring equal life chances for all
LPP 3.3	(2011) Increasing housing supply
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 3.8	(2011) Housing Choice
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
LPP 5.3	(2011) Sustainable design and construction
LPP 5.13	(2011) Sustainable drainage
LPP 5.15	(2011) Water use and supplies
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
H3	Loss and replacement of residential accommodation
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

## **5. Advertisement and Site Notice**

- 5.1** Advertisement Expiry Date:- Not applicable
- 5.2** Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

24 neighbouring properties have been consulted and 5 responses have been received, together with a petition with 28 signatories on the original scheme.

The petition states:

'We the undersigned wish to register our objection on the grounds that it is the developer's intention to build two houses beyond the rear building line of all adjacent houses, with the resulting loss of light caused by this overbearing development.

It is not acceptable or indeed reasonable that a footprint of a bungalow should be used for three bedroom houses. We seek an opportunity to speak at your planning meeting to challenge this application from Mr Terry Daniel.'

Individual comments on original scheme:-

- (i) In principle, the development of two 2 bedroom properties is acceptable,
- (ii) Proposal is overdevelopment, out of character with Shenley Avenue,
- (iii) Proposed houses are large and would extend far beyond rear building line of the two storey houses, including the adjacent properties on this part of Shenley Avenue,
- (iv) No houses as far as can be seen have extended at two storey level to the extent that is being proposed,
- (v) Projections of houses at rear would project beyond rear conservatory at No. 85 resulting in the blighting of view from No. 85,
- (vi) Rear projection would result in loss of sunlight to adjoining gardens, including to rear of No. 79, casting shadow on rear patio. If plans scaled back to same dimensions of adjoining properties, I would find this acceptable,
- (vii) Plans show two windows and a door that will overlook my patio,
- (viii) Proposal will create problems for adjoining properties whilst under construction,
- (ix) Proposal should not be compared with a similar development in Eversley Crescent (60943/APP/2005/2958) as here, development does not project beyond adjoining properties at the rear,
- (x) Planning officer should visit my property,
- (xi) Do not support the application whilst I still have an interest and a charge on the property,

3 comments received on revised scheme:

- (xii) Petition is still relevant and still wish to be heard at committee,
- (xiii) Proposal will block natural light to adjoining properties,
- (xiv) Continue to strongly object to this proposal as no regard has been given to original objection concerning the rear building line, which will have a huge impact, particularly on the loss of sunlight to my patio area as well as the loss of privacy,
- (xv) Now faced with further increase to the existing footprint with single storey side extensions towards both adjoining properties which will overpower adjoining properties,
- (xvi) This new 'linked terraced' appearance is out of keeping with Shenley Avenue's existing semi-detached and detached two storey properties,
- (xvii) Two semi-detached, 3 bedroom houses on a plot originally intended for a 2 bedroom bungalow is over development,
- (xviii) A site visit should be made,
- (xix) Proposal should be consistent with a similar project developed in Eversley Crescent 4 years ago,



## Internal Consultees

Access Officer:

In assessing this application, reference has been made to London Plan July 2011, Policy 3.8 (Housing Choice) and the Council's Supplementary Planning Document 'Accessible Hillingdon' adopted January 2010.

Having evaluated the proposed development against the above Supplementary Planning Document and policy requirements, the proposed development is acceptable from an accessibility perspective.

Conclusion: Acceptable.

EPU (Land Contamination):

There are no specific concerns regarding contamination. A condition to minimise the risk of contamination from the import of soils is recommended.

Highway Engineer:

The scheme is acceptable, given no highway objections were raised to previous scheme with similar parking arrangements. Pedestrian visibility needs to be controlled by condition.

## 7. MAIN PLANNING ISSUES

### 7.01 The principle of the development

There are no objections to the loss of the bungalow which is of little architectural or historical interest.

There is also no objection in principle to the intensification of the residential use of this site, subject to the council's normal policies and standards.

### 7.02 Density of the proposed development

Policy 3.4 of the London Plan (July 2011) advises that Boroughs should ensure that development proposals maximise housing output having regard to local context, design principles, density guidance in Table 3.2 and public transport accessibility. Table 3.2 establishes a density matrix to establish a strategic framework for appropriate densities at different locations.

The site is located within a suburban area and has a Public Transport Accessibility Level (PTAL) of 3, where 6 is the most accessible and 1 the least. Taking the most appropriate typical unit size of 3.8 - 4.6 hr/unit, the matrix recommends a density of 35-65 u/ha and 150-250 hr/ha. This proposal equates to a density of 50u/ha and 250hr/ha, which accords with the Mayor's guidance in terms of density.

However, it is considered that density guidance is of only limited relevance to infill development proposals such as this. Of more importance is to ensure that the proposal harmonises with surrounding development.

### 7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The proposal would not affect any statutorily or locally listed building or its setting, nor would it be likely to affect any archaeological remains. Furthermore, the application site does not form part of a conservation area or an area of special local character.

### 7.04 Airport safeguarding

Not applicable to this application.

#### **7.05 Impact on the green belt**

The application site does not form part of the Green Belt nor is it located close to its boundary. As such, this application does not raise any Green Belt issues.

#### **7.07 Impact on the character & appearance of the area**

The predominant character on both sides of this part of Shenley Avenue is formed by pairs of semi-detached houses, interspersed by single detached bungalows with properties generally conforming to a uniform set back from the road of some 5m.

The proposed houses would maintain the general character and established front building line on this part of Shenley Avenue, together with the eaves and ridge height of surrounding houses. Although the roof form would comprise a flat roof element at the ridge, this element is very small so that the roof would read as a traditional hipped roof, with the shared chimney stack occupying the central area of the flat roof element.

Policy BE22 of the Saved Policies UDP states that residential buildings of two or more storeys should be set back a minimum of 1 metre from the side boundary. On this part of Shenley Avenue, the vast majority of the semi-detached pairs have single storey garages occupying the space between the semi-detached houses, including the two adjoining properties at Nos. 79 and 83. A number of these garages have also been converted to habitable accommodation. As such, the predominant character on this part of Shenley Avenue is of semi-detached properties which typically do not have separation gaps at ground floor level.

The semi-detached houses on Shenley Avenue have a typical width ranging from 5.7m to 5.85m and undeveloped first floor gaps of 2.25m to 3.4m. By comparison, the proposed houses would have a width of 5.23m and maintain first floor gaps of 1.8m to the side boundaries. Although the massing of the pair is slightly undersized in terms of typical house widths and spacing, this is not so great that the houses would appear out of keeping or unduly cramped in the street scene.

The design of the proposed houses replicates the design features of adjoining properties, including the projecting two storey semi-circular bay, canopy and first floor bay window on the front elevation. In order to replicate the general pattern of adjoining facades, a compromise has had to be made in that the first floor side wall does truncate ground floor windows. Although this is not ideal in design terms, the overall impression is reasonable and adequately harmonises with adjoining properties.

In the previous appeal for a two storey block comprising four flats (64555/APP/2008/1569), the Inspector considered a building which was set off both of the side boundaries for its full height by 1.2m. The Inspector noted that the adjoining properties had single storey garages next to the application site and these, combined with the single storey bungalow lended a certain openness to the street scene. The Inspector went on to say that:

'The development would remove much of this openness by introducing a structure which would have two storey high side elevations close to the adjoining properties. As a consequence, the building would be readily seen on approaching the site from both directions and because of its bulk and size would be a dominant feature in the street. I have therefore formed the view that the proposed building would be out of keeping with the character and appearance of the neighbouring houses and would impact significantly on the street scene....'.

Although this proposal would fill the width of the plot on the ground floor (as do the vast majority of properties on this part of Shenley Avenue), it would increase the first floor gaps by 0.6m on each side of the building. As such, more of the openness of the site would be retained.

As such, it is considered that the scheme complies with Policies BE13 and BE19 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and has overcome the Inspector's previous reason for dismissing an appeal for a two storey building on this site.

#### **7.08 Impact on neighbours**

The proposed houses would not project forward of the adjoining properties at the front and both adjoining properties only contain a obscure glazed windows in their side elevations.

At the rear, the main two storey bulk of the proposed houses would project by some 3.0m from the first floors of neighbouring properties and this first floor bulk is set back 1.8m from the side boundaries. The proposal would not encroach upon a 45 degree line of sight taken from any adjoining first floor rear facing window.

On the ground floor, the single storey side/rear elements would immediately abut the side boundaries, but these would only project by a similar 3m distance. As regards No. 83, this has a 3m deep rear conservatory with a plastic corrugated roof canopy on the side adjoining No. 81 Shenley Avenue so that the main bulk of the houses would not project beyond the ground floor of this adjoining property. The proposal also involves a 1.6m deep rear kitchen addition which increases the overall projection of the development from the original rear elevation of adjoining properties to 4.6m, but with a flat roof height of 2.76m and set back from the side boundaries by 2.9m, this element of the proposal would have a minimal impact upon the amenity of neighbouring properties.

In considering the previous appeal for a building which projected further into the rear garden, the Inspector noted that there would not be an issue as regards loss of light, sunlight or overlooking. It was only the dominant and overbearing appearance of the previous proposal in terms of its depth and height which was cited as justification for dismissing the appeal. This scheme compares to the previous scheme in that the depth of the projection of the two storey building from the first floor elevation of neighbouring properties has reduced from 4.3m to 3.0m and on the ground floor, from 5.2m to 4.6m. With the reduction of the depth and the setting back of the first floor element from the side boundaries, it is considered that this scheme overcomes the concerns of the previous Inspector. This scheme does now include single storey elements immediately on the boundary of adjoining properties, but with a maximum depth of 3m, these elements would not unduly harm the amenities of neighbours and would comply with the Council's design guidance if proposed as an extension.

#### **7.09 Living conditions for future occupiers**

The London Plan (July 2011) establishes minimum floor areas that would be required in order to ensure that future occupiers of new property would have an adequate standard of amenity. Table 3.3 of the London Plan specifies that three bedroom properties should have a minimum internal floor area of 96sqm. The proposed houses would have internal floor areas of 139sqm. Furthermore, all habitable rooms would have adequate outlook and natural sunlight.

The Council's HDAS 'Residential Layouts' Design Guide also stipulates minimum amenity space sizes and for a two or three bedroom property, 60sqm of private amenity space is

required. This scheme proposes rear gardens, each with an area of 96sqm.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

The proposal includes two double car parking spaces in the front gardens of each of the proposed houses. The Council's Highway engineer notes that the proposed car parking arrangement is very similar to the layout proposed on the scheme, the subject of the appeal to which no highway objections were raised. On this basis, the Highway Engineer raises no objections to this scheme.

#### **7.11 Urban design, access and security**

These issues have mainly been dealt with in Sections 7.07 and 7.09 of this report. As regards security, a condition is recommended to ensure that the development meets secure by design standards.

#### **7.12 Disabled access**

Policy 3.8 of the London Plan (July 2011) advises that all new housing development should be built in accordance with Lifetime homes standards. Further guidance on these standards is provided within the Council's Supplementary Planning Document: Accessible Hillingdon, January 2010.

The Council's Access Officer advises that the scheme is acceptable in terms of accessibility and raises no objections. A condition has been added to ensure that the scheme fully complies with these standards.

#### **7.13 Provision of affordable & special needs housing**

Not applicable to this scheme for two houses.

#### **7.14 Trees, Landscaping and Ecology**

Policy BE38 of the Saved Policies UDP requires development proposals to retain and incorporate topographical and landscape features of merit and provide new planting where necessary. There are no protected trees or other landscape features of merit on or close to the application site.

The scheme does make provision for the retention of existing trees and shrubs in the rear garden and the provision of a new boundary hedge to subdivide the rear garden. Within the front garden, a new landscaped strip would be provided along the boundary of the two properties, with a new hedge and cherry tree. Although this would amount to approximately half the minimum landscaped area required by design guidance (25% of the front garden area), the majority of the surrounding properties in the vicinity have been completely or very nearly completely hardsurfaced, including the adjoining property, No. 83. As such, the proposed scheme would not appear so out of keeping with the character of the street scene so as to justify a reason for refusal. The scheme is considered to accord with Policies BE13 and BE38 of the Saved Policies UDP.

#### **7.15 Sustainable waste management**

The proposed plans show provision for bin storage being made in the rear gardens. If refuse/recycling is to be collected, this would have to be brought through to the front of the house on collection days. No objection is raised to this arrangement.

#### **7.16 Renewable energy / Sustainability**

A condition has been added to ensure that the new houses would achieve Level 4 of the Code for Sustainable Homes.

#### **7.17 Flooding or Drainage Issues**

The application does not lie within an area prone to flooding. A condition has been added to ensure a sustainable drainage scheme is provided.

#### **7.18 Noise or Air Quality Issues**

This application does not raise any specific issues as regards noise or air quality.

#### **7.19 Comments on Public Consultations**

As regards the comments on the original and revised scheme, these are mainly dealt with within the officer's report with the exception of points (i) and (viii), which are noted. As regards point (ix) all applications are treated on their individual merits. An officer has visited both adjoining properties (Point (x)). As regards point (xi), the comments made by a previous owner/occupier of the property and the documents submitted have been looked at by legal services and they advise that notice was not required to be served on this individual and the application is valid.

#### **7.20 Planning Obligations**

Policy R17 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) is concerned with securing planning obligations to offset the additional demand on recreational open space, facilities supporting arts, cultural and entertainment activities, and other community, social and education facilities through planning obligations in conjunction with other development proposals. These UDP policies are supported by more specific supplementary planning guidance.

Given the nature and scale of the scheme, only a potential contribution towards additional educational provision would be generated. A contribution towards additional education space of £7,125 is required (Nursery - £0, Primary - £1,394, Secondary - £2,526 and Post-16 - £3,205).

#### **7.21 Expediency of enforcement action**

This application does not give rise to any planning enforcement issues.

#### **7.22 Other Issues**

There are no other relevant planning issues raised by this application.

### **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without

discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

## **9. Observations of the Director of Finance**

## **10. CONCLUSION**

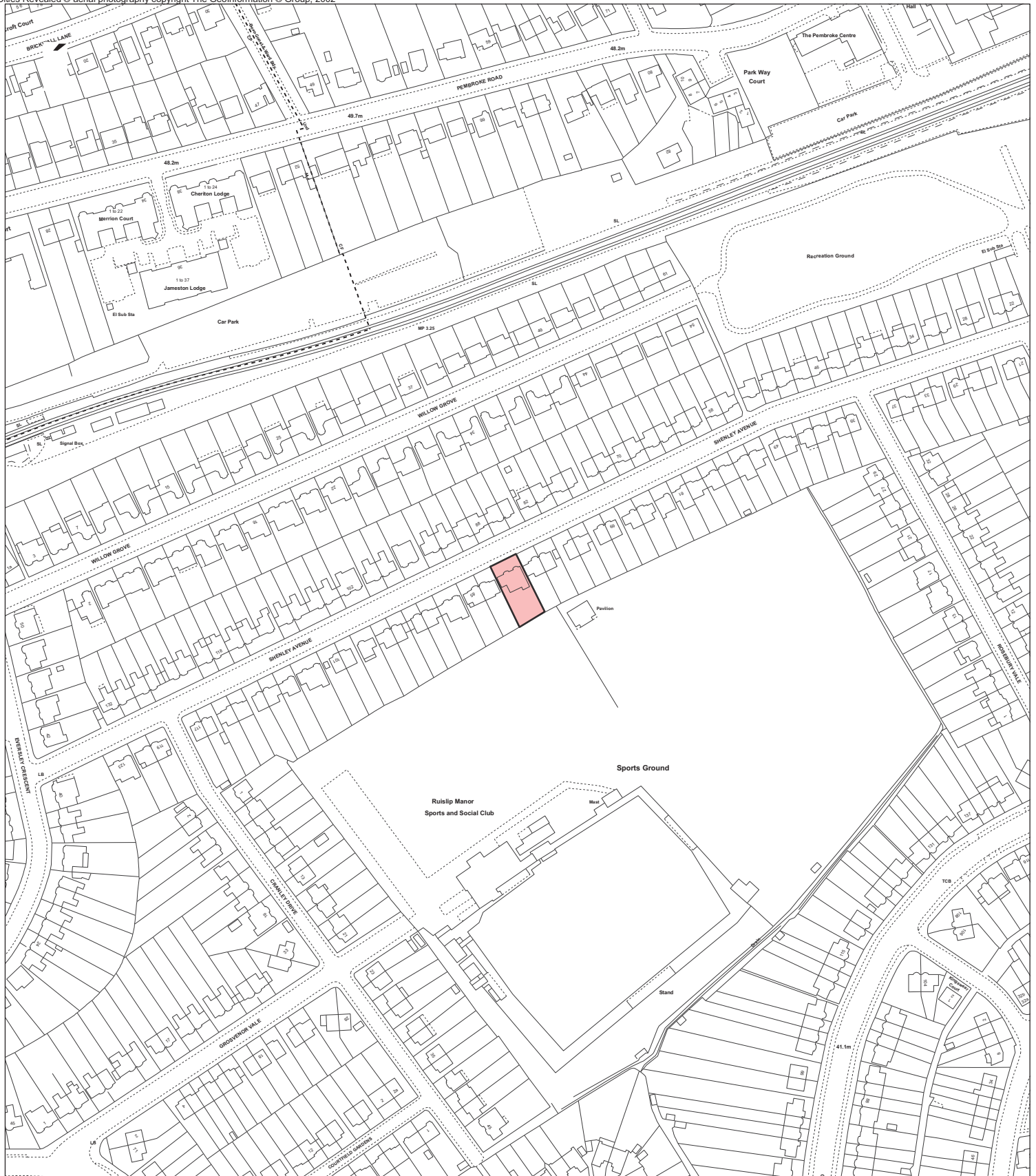
It is considered that the proposed house would present an acceptable appearance within the street scene, replicating the height and design of adjoining properties. Although the houses would extend to the side boundaries on the ground floor and therefore not be set off a minimum of 1m from the side boundaries for their full height, the predominant character of this part of Shenley Avenue comprises semi-detached houses with side garages built up to their side boundaries, some of which have been converted to habitable accommodation. Although the houses do project beyond adjoining houses at the rear, it is not considered that this would be unduly detrimental to the amenity of adjoining properties. The proposed house would provide an acceptable standard of residential accommodation and adequate off-street parking. The proposal is recommended for approval.

## **11. Reference Documents**

National Planning Policy Framework (March 2012)  
London Plan (July 2011)  
Adopted Hillingdon Unitary Development Plan Saved Policies (September 2007)  
HDAS: Residential Layouts  
HDAS: Accessible Hillingdon  
Consultation Responses

**Contact Officer:** Richard Phillips

**Telephone No:** 01895 250230



**Notes**



Site Boundary

For identification purposes only.

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Site Address

**81 Shenley Avenue,  
Ruislip**

Planning Application Ref:

**64555/APP/2012/14**

Planning Committee

**North**

Scale

**1:1,250**

Date

**July 2012**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

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## Report of the Head of Planning & Enforcement Services

**Address** EASTCOTE HOUSE AND GARDENS HIGH ROAD EASTCOTE

**Development:** Repair works to garden wall, installation of new gate to eastern side of wall and repair of stable block and installation of 2 micro CCTV cameras and burglar alarm to eaves of stable block (Application for Listed Building Consent).

**LBH Ref Nos:** 23846/APP/2012/1133

**Drawing Nos:** 2011/P118/D/02  
2011/P118/D/03  
2011/P118/D/04  
2011/P118/D/07  
2011/P118/D/08  
2011/P118/D/09  
2011/P118/D/10  
2011/P118/D/11  
2011/P118/D/01  
2011/P118/D/14  
2011/P118/D/15  
2011/P118/D/16  
2011/P118/D/17 Rev. A  
2011/P118/D/12 Rev. A  
2011/P118/D/13 Rev. A  
2011/P118/D/05 Rev. A  
Design & Access Statement  
Photographs

**Date Plans Received:** 10/05/2012      **Date(s) of Amendment(s):** 21/06/2012  
**Date Application Valid:** 10/05/2012

## 1. CONSIDERATIONS

### 1.1 Site and Locality

The application site forms part of Eastcote House Gardens, a Council owned public park located on the south eastern side of High Road Eastcote, to the north of its junction with Field End Road. This part of the park contains a 16th century timber framed former stables and a 17th century walled garden and Dovecote. These are all that remain of the outbuildings of Eastcote Manor House, an early timber framed building with later additions that was demolished in the 1960s. All of the buildings are grade II listed and are included on the English Heritage Buildings at Risk Register. Eastcote House Gardens form part of the Eastcote Village Conservation Area and an area forming a link in a Green Chain as

identified in the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

Adjoining the park to the south east are the rear gardens of properties fronting Pamela Gardens, and those on St Lawrence Drive to the north east. The River Pinn marks the northern boundary. The application site forms the middle section of the gardens, including the main vehicular access into the gardens and its listed buildings and car park from High Road Eastcote.

## **1.2 Proposed Scheme**

This application seeks listed building consent for repair works to the walls of the walled garden, installation of a new gated opening in the eastern wall of the walled garden towards its southern end and repair works to the former stable building and installation of two micro CCTV cameras and a burglar alarm box to the eaves on the western elevation of the building.

Repair works to the walls involve where appropriate, the clearing of vegetation, removal of wire mesh trellis that supports the wall, making good identified cracks and render, re-pointing of brickwork and insertion of clay pipes at base of the wall to form weep holes.

The repair works to the former stable building include where appropriate the re-pointing and repair of brickwork, re-packing of gaps between brickwork and timber frame, removal and replacement of broken tiles, making good rainwater goods and flashing, re-glazing of ground floor window in west elevation and salvaging/replacement of its window furniture.

The application is supported by a Design and Access Statement which advises that the works represent initial steps towards a larger project to restore and develop the gardens for wider community use. This is currently subject to an HLF funding bid, which has been successful at Stage 1 and is now at the Development Stage. The works will provide greater access to the walled garden, linking it to other ongoing projects within the park and also improve the security of the former stables building, which is likely to become vacant later this year when the current occupiers move to new premises.

The new gated opening in the walled garden would be in the south eastern section where the wall is modern (presumably as a result of some earlier repair works) and in poor condition and includes a straight joint that forms a natural break for the creation of the new opening. The design of the new gate will follow that of the gate in the west wall (of mild steel, painted black) and include its date of construction within its design. The width of the opening and the gate will allow disabled access.

The statement advises that the stables have been the subject of vandalism in recent years and the installation of two micro cameras is intended as a temporary and fully reversible measure to protect the building and its users whilst the HLF scheme is developed that will include fully worked up security measures and a CCTV system for the whole park.

## **1.3 Relevant Planning History Comment on Planning History**

There is no relevant planning history on this site.

## **2. Advertisement and Site Notice**

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

### 3. **Comments on Public Consultations**

#### EXTERNAL CONSULTEES:

A site notice was displayed at the entrance into the site on 25/5/12. No responses received.

#### INTERNAL CONSULTEES:

Urban Design/Conservation Officer:

There are no objections to these works, which have been subject to extensive discussion with the Council's Architects, EH and the Eastcote House Gardens Steering Group.

Please note as this is a Council owned property a decision on the application will need to be made by the DCLG, which will require a resolution from the Planning Committee and EH written support. Conditions should be attached to any recommendation covering:

- a) Brick samples
- b) Details of mortar mixes and sample areas of pointing to be agreed on site by LBH and EH
- c) Manufacturers details of the cameras and their exact position on the building to be supplied for agreement
- d) Details of the appearance and exact location of the burglar alarm
- e) Details of design of the new gate to the walled garden
- f) Materials for the re-glazing of the windows

These details should be supplied for agreement before the start of relevant area of work.

### 4. **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

#### Part 1 Policies:

- |       |  |
|-------|--|
| PT1.4 | To safeguard a network of Green Chains from built development to provide a visual amenity and physical break in the built up area and opportunities for recreation and corridors for wildlife. |
| PT1.7 | To promote the conservation, protection and enhancement of the archaeological heritage of the Borough.   |
| PT1.8 | To preserve or enhance those features of Conservation Areas which contribute to their special architectural and visual qualities.  |
| PT1.9 | To seek to preserve statutory Listed Buildings and buildings on the Local List.  |

#### Part 2 Policies:

NPPF	National Planning Policy Framework (March 2012)
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.8	(2011) Heritage assets and archaeology
OL11	Green Chains
BE3	Investigation of sites of archaeological interest and protection of archaeological remains
BE4	New development within or on the fringes of conservation areas
BE8	Planning applications for alteration or extension of listed buildings
BE9	Listed building consent applications for alterations or extensions
BE10	Proposals detrimental to the setting of a listed building
BE11	Proposals for the demolition of statutory listed buildings
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010

## 5. MAIN PLANNING ISSUES

The main consideration with this application concerns the impact of the scheme upon the historic fabric, appearance and overall setting of the listed buildings and walls and the implications of the works for disabled access.

It is considered by the Urban Design/Conservation Officer and officers of English Heritage that the proposed repairs are needed to assist with the restoration and upkeep of the buildings and walls. These will not have a negative impact upon either the integrity or character of any of the historic buildings or walls, subject to a condition controlling the materials and siting of the cameras and alarm.

Furthermore, the installation of the micro cameras and burglar alarm on the stables building at eaves level will improve the security of the building and are only intended to be temporary measures until such time as a comprehensive security scheme is worked up as part of the HLF scheme and are fully reversible.

The new opening into the walled garden on the eastern side will provide a second access point on the opposite side of the existing access on the west side which will improve accessibility and encourage use of the walled garden. The new gated opening will allow disabled access.

Given the nature of the works, it is unlikely that any archaeological remains will be affected.

In conclusion the scheme is considered to comply with Policies BE3, BE4, BE8, BE9, BE10 and BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

RECOMMENDATION:

As the application is for works to a listed building and the building is owned by the London Borough of Hillingdon, the application needs to be referred to the Secretary of State for Communities and Local Government for a formal decision. Thus it is recommended that the committee do not raise objection to the grant of Listed Building Consent and the application is thus referred to the Secretary of State for Communities and Local Government.

## 6. **RECOMMENDATION**

### **APPROVAL subject to the following:**

#### **1 SP01 Council Application Standard Paragraph**

This authority is given by the issuing of this notice under Regulation 3 of the Town and Country Planning General Regulations 1992 and shall enure only for the benefit of the land.

#### **2 LB1 Time Limit (3 years) - Listed Building Consent**

The works hereby permitted shall be begun before the expiration of three years from the date of this consent.

#### **REASON**

To comply with Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

#### **3 COM4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, namely Drw. Nos. 2011/P118/D/01, 02, 03, 04, 05 Rev. A, 07, 08, 09, 10, 11, 12 Rev. A, 13 Rev. A, 14, 15, 16 and 17 Rev. A and shall thereafter be retained/maintained for as long as the development remains in existence.

#### **REASON**

To ensure the development complies with the provisions of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and the London Plan (July 2011).

#### **4 COM7 Materials (Submission)**

No development shall take place on the relevant area of work until details of the following have been submitted to and approved in writing by the LPA:

- a) Brick samples
- b) Details of mortar mixes and sample areas of pointing to be agreed on site by the London Borough of Hillingdon and English Heritage
- c) Manufacturers details of the cameras and their exact position on the building
- d) Details of the appearance and exact location of the burglar alarm
- e) Details of design of the new gate to the walled garden
- f) Materials for the re-glazing of the windows

Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

## REASON

To ensure that the repair works present a satisfactory appearance to safeguard the architectural and historical interest of the buildings, in accordance with Policies BE8 and BE9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

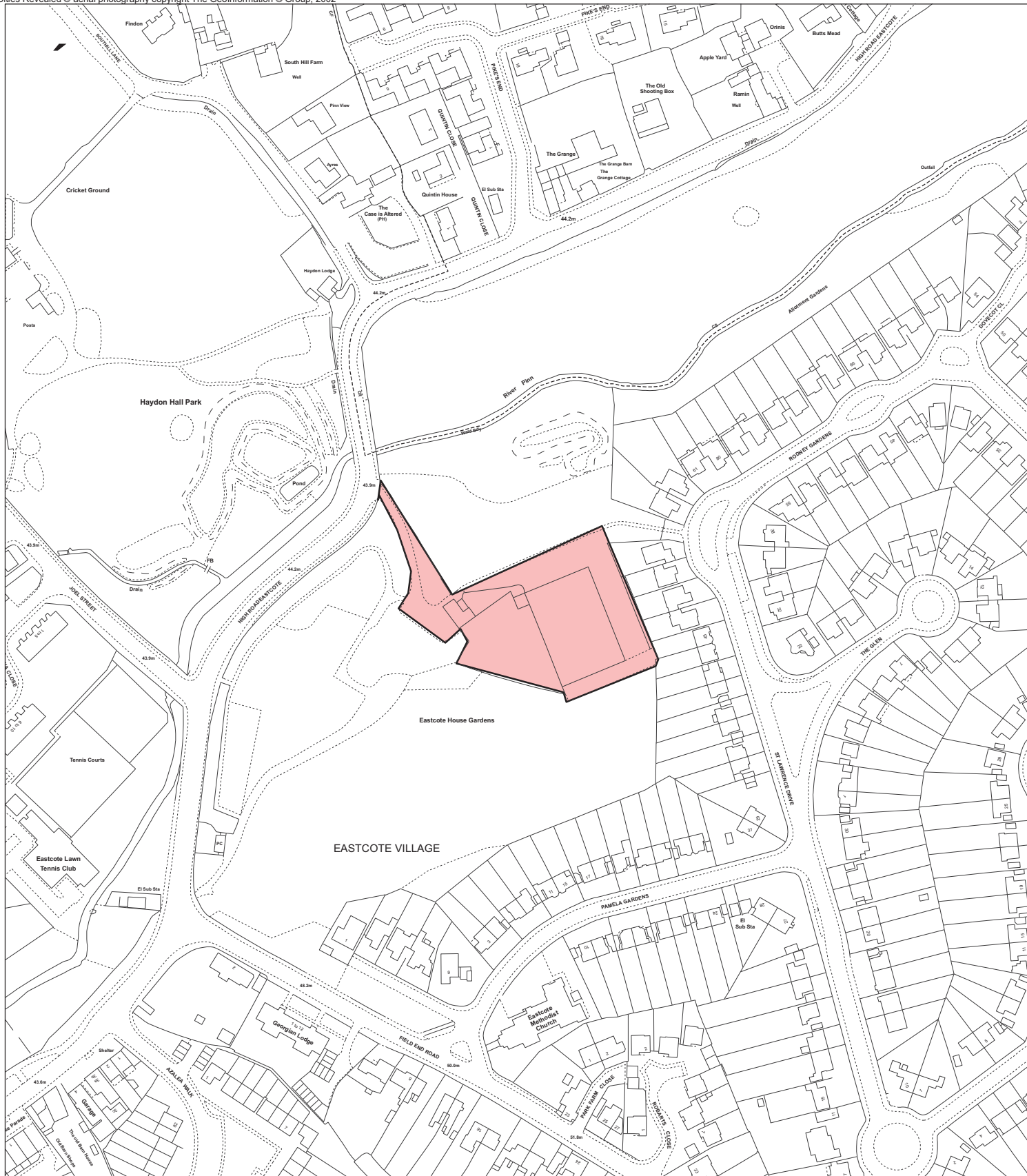
## INFORMATIVES

- 1 The decision to GRANT listed building consent has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2 The decision to GRANT listed building consent has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.  
  
NPPF National Planning Policy Framework (March 2012)  
LPP 7.2 (2011) An inclusive environment  
LPP 7.3 (2011) Designing out crime  
LPP 7.8 (2011) Heritage assets and archaeology  
OL11 Green Chains  
BE3 Investigation of sites of archaeological interest and protection of archaeological remains  
BE4 New development within or on the fringes of conservation areas  
BE8 Planning applications for alteration or extension of listed buildings  
BE9 Listed building consent applications for alterations or extensions  
BE10 Proposals detrimental to the setting of a listed building  
BE11 Proposals for the demolition of statutory listed buildings  
BE13 New development must harmonise with the existing street scene.  
BE15 Alterations and extensions to existing buildings  
LDF-AH Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.
- 4 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of

escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

**Contact Officer:** Richard Phillips

**Telephone No:** 01895 250230



**Notes**



Site Boundary

For identification purposes only.

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Site Address

**Eastcote House and Gardens,  
High Road,  
Eastcote**

Planning Application Ref:

**23846/APP/2012/1133**

Planning Committee

**North**

Scale

**1:1,250**

Date

**July 2012**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON



## Report of the Head of Planning & Enforcement Services

**Address** SACRED HEART RC PRIMARY SCHOOL HERLWYN AVENUE RUISLIP

**Development:** Formation of a multi-use games area (MUGA) to the southern boundary of the site to provide all weather play area for pupils of the school.

**LBH Ref Nos:** 386/APP/2012/750

**Drawing Nos:** 4710-01  
Planning Statement (Ref: AE/JB/4710)  
4710-02  
4710-10 Rev. B  
4710-11 Rev. A

**Date Plans Received:** 29/03/2012                      **Date(s) of Amendment(s):**

**Date Application Valid:** 30/03/2012

### 1. SUMMARY

The application seeks full planning permission for the installation of a Multi Use Games Area (MUGA) on the grassed area to the south west of the site.

The proposed MUGA fencing would comprise 3m polyester powder coated steel weld mesh ball court fencing, in a dark green colour to match the existing. The proposed fencing would be set back from the existing fencing line leaving the boundary treatment of the site unaltered.

The proposed scheme is considered to be of an acceptable design which would be compatible within the local context. Accordingly, the application is recommended for approval.

### 2. RECOMMENDATION

**APPROVAL subject to the following:**

#### 1 COM3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

#### REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

#### 2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers

4710-01  
4710-02  
4710-10 Rev B  
4710-11A

and shall thereafter be retained/maintained for as long as the development remains in

existence.

**REASON**

To ensure the development complies with the provisions of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and the London Plan (July 2011).

**3 COM10 Tree to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

**REASON**

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

**4 COM29 No floodlighting**

No floodlighting or other form of external lighting shall be installed unless it is in accordance with details which have previously been submitted to and approved in writing by the Local Planning Authority. Such details shall include location, height, type and direction of light sources and intensity of illumination. Any lighting that is so installed shall not thereafter be altered without the prior consent in writing of the Local Planning Authority other than for routine maintenance which does not change its details.

**REASON**

To safeguard the amenity of surrounding properties in accordance with policies BE13 and OE1 of the Hillingdon Unitary Development Plan; and to protect the ecological value of the area in accordance with Policy EC3.

**5 COM6 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and know datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

**REASON**

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

## **6 COM8 Tree Protection**

No site clearance or construction work shall take place until the details have been submitted to, and approved in writing by, the Local Planning Authority with respect to:

1. A method statement outlining the sequence of development on the site including demolition, building works and tree protection measures.

2. Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres.

Thereafter, the development shall be implemented in accordance with the approved details. The fencing shall be retained in position until development is completed.

The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

2.a There shall be no changes in ground levels;

2.b No materials or plant shall be stored;

2.c No buildings or temporary buildings shall be erected or stationed.

2.d No materials or waste shall be burnt; and.

2.e No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

### **REASON**

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

## **7 COM9 Landscaping (including refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping

1.a Planting plans (at not less than a scale of 1:100),

1.b Written specification of planting and cultivation works to be undertaken,

1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

2. Details of Hard Landscaping

2.a Refuse Storage

2.b Cycle Storage

2.c Means of enclosure/boundary treatments

2.d Car Parking Layouts (including demonstration that 5% of all parking spaces are served by electrical charging points)

2.e Hard Surfacing Materials

- 2.f External Lighting
- 2.g Other structures (such as play equipment and furniture)

4. Details of Landscape Maintenance

- 4.a Landscape Maintenance Schedule for a minimum period of 5 years.
- 4.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.

5. Schedule for Implementation

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**INFORMATIVES**

**1            I52            Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**2            I53            Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

- |      |   |
|------|---|
| BE13 | New development must harmonise with the existing street scene.  |
| BE19 | New development must improve or complement the character of the area.   |
| BE38 | Retention of topographical and landscape features and provision of new planting and landscaping in development proposals. |
| OE1  | Protection of the character and amenities of surrounding properties and the local area                                    |
| OE3  | Buildings or uses likely to cause noise annoyance - mitigation measures   |
| R4   | Proposals that would involve the loss of recreational open space  |
| OL1  | Green Belt - acceptable open land uses and restrictions on new development  |

**3            I1            Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

#### **4 115 Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

#### **5 13 Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The site occupies 0.9ha with a further 0.24ha of land for school use. It is located directly to the north of dwellings in Herlwyn Avenue. The north and west boundaries are formed by rugby fields whilst the east boundary, also in Herlwyn Avenue, is between dwellings and adjacent to allotment gardens.

The site falls gently from north to south with fences and hedges and some trees to the boundaries. Much of the site is devoted to buildings and hard play areas. There are two shared vehicular and pedestrian entrances, the principal entrance to the east and a secondary entrance to the southwest. The school is not listed nor is it located within a Conservation Area, however the rugby fields to the north and west boundaries are defined as Green Belt within the Unitary Development Plan.

The school's main entrance and staff car park is accessed from Herlwyn Avenue at the north east of the site. A secondary vehicular access for fire exit egress is also provided onto Herlwyn Avenue to the south west of the site.

The school is bounded by powder coated palisade fencing with timber close boarded acoustic fencing to the rear of the houses to Herlwyn Avenue. The foundation stage play area is separated from the main school areas with varying height galvanised metal railings, some set above brick retaining walls.

### **3.2 Proposed Scheme**

The proposal is for the installation of a Multi Use Games Area (MUGA) on the grassed area to the south west of the site.

The proposed MUGA fencing would comprise 3m polyester powder coated steel weld mesh ball court fencing, in a dark green colour to match the existing. The proposed fencing would be set back from the existing fencing line leaving the boundary treatment of the site unaltered.

### **3.3 Relevant Planning History**

#### **Comment on Relevant Planning History**

There is no relevant planning history.

## **4. Planning Policies and Standards**

### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
R4	Proposals that would involve the loss of recreational open space
OL1	Green Belt - acceptable open land uses and restrictions on new development

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- Not applicable

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

A site notice was posted at the site on the 29th April 2012. A total of 11 neighbouring properties were consulted. No replies have been received.

### **Internal Consultees**

#### **TREES & LANDSCAPING**

The site is occupied by a primary school and the school grounds which support it. The area which is the subject of the application is at the south-west corner of the site adjacent to the rear entrance to the school, off Herlwyn Avenue.

This part of the site is designated Green Belt and is currently mown grass with three specimen trees which are set in a few metres from the southern boundary. There are three larger specimen trees immediately outside the southern boundary fence.

None of the trees are protected by Tree Preservation Order or Conservation Area designation. However, they all contribute to the visual character of the area and its environmental quality.

The proposal is to install a multi-use games area (MUGA) which will be sited on an east-west axis close to the southern boundary of the site. This will provide an all weather play area for pupils at the school.

Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

i) DHP drawing No. 4710/10 Rev A and the Planning Statement confirm that, in order to accommodate the MUGA, it will be necessary to remove three trees from the playing field site. T1 and T2 are Weeping Willows and T6, a Cherry tree (close to the driveway), will be removed. No tree survey has been submitted but the Cherry is considered to be a poor specimen and the Weeping Willows are not a constraint on development. Replacement planting with at least three trees should be secured by condition.

ii) The offsite trees will be retained and will continue to provide some tree screening along the boundary. T5, an Oak, is close to the south-east corner of the proposed pitch and a method statement/site monitoring will be required from an arboricultural expert to ensure that the construction method is acceptable.

iii) Alternatively, the proposed pitch should be moved northwards by a metre (+). This would move the pitch further away from the root protection area of the Oak. It would also improve the relationship of the pitch to the boundary fence in the south-east corner facilitating access for grass cutting/maintenance. The narrow strip of grass between the existing play area and the gated access to the pitch could be removed.

iv) Three replacement trees (Birch) have been proposed. Details of the size and specification should be reviewed and can be agreed by condition.

v) Replacement planting along the southern boundary should also be provided.

No objection, subject to the above considerations and conditions COM8, COM9, and COM10.

OFFICER COMMENT: The plans have been amended and the MUGA has been moved north by 1m. The Trees & Landscape Officer has stated that the scheme is now acceptable.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The application site is located within the Metropolitan Green Belt as defined within the UDP Saved Policies. Policy OL1 of the UDP Saved Policies indicates that within the Green Belt the following predominantly open land uses will be acceptable:

- (i) Agriculture, Horticulture, Forestry and Nature Conservation;
- (ii) Open air recreational facilities;
- (iii) Cemeteries.

The National Planning Policy Framework (NPPF) sets out a similar schedule of acceptable development types and also indicates that the limited infilling of previously developed sites may be acceptable where it would not have a greater impact on the openness of the Green Belt.

Policy OL2 and OL4 of the Saved Policies UDP indicate that the replacement or extension of buildings within the Green Belt and other development will only be permissible where the development would not significantly increase the built up appearance of the site or injure the visual amenities of the Green Belt. Further landscape enhancement may be sought where appropriate.

The proposed multi use games area is an open air recreational facility and is in principal acceptable. Furthermore, the MUGA is situated on a existing grassed space within the school grounds. The school has advised that the grassed area is only used in the summer in warm weather. The MUGA will be used all year around. It is considered that in this case the recreational benefits of the proposal outweigh the limited visual impact.

#### **7.02 Density of the proposed development**

Not applicable to this application.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The site is not located within a conservation area and no part of the school is listed.

#### **7.04 Airport safeguarding**

No airport safeguarding issues arise from the proposed development.

#### **7.05 Impact on the green belt**

Overall, it is considered that the development proposed is of an appropriate type within the Green Belt and would not have any adverse impacts on the openness or visual amenity of this Green Belt site. Accordingly, the proposal is considered to be in full accordance with policies OL1, OL2, and OL4 of the UDP Saved Policies and the NPPF.

#### **7.07 Impact on the character & appearance of the area**

The existing site boundary fencing in the area surrounding the proposed MUGA is powder coated steel palisade fencing, dark green in colour and 1.8m high. The proposed new MUGA fencing would comprise 3m polyester powder coated steel weld mesh ball court fencing, in a dark green colour to match the existing. The proposed fencing would be set back from the existing fencing line leaving the boundary treatment of the site unaltered. As such the MUGA, whilst clearly visible from public vantage points, would not be out of keeping with the character of the area. Accordingly, the proposal would be considered to comply with Policy BE13 of the UDP Saved Policies.

#### **7.08 Impact on neighbours**

The nearest residential property is located on the opposite side of the pedestrian access road leading from Herlwyn Avenue, approximately 15m from the proposed MUGA. It is considered that given the access road between the proposed MUGA and the residential property means that the impact on nearby property will be limited, furthermore the existing area is already occasionally used in the summer for outdoor play.

Accordingly, the proposal is not considered to result in any detrimental impacts on the



amenity of residential occupiers and would accord with Policy OE1 of the UDP Saved Policies.

**7.09 Living conditions for future occupiers**

Not applicable to this application.

**7.10 Traffic impact, Car/cycle parking, pedestrian safety**

The proposal does not result in additional pupils and the parking situation is not altered, thus the development will not impact on traffic generation or parking.

**7.11 Urban design, access and security**

The proposed MUGA will be located to the south west of the school site, adjacent to the secondary entrance into the school. The areas currently comprise a grassed area which is used as playground space, with a number of trees positioned close to the site boundary.

Due to the restricted irregular shape of the grassed area, the MUGA has been sized and positioned in order to make maximum use of the space available whilst maintaining a minimum of 1000mm wide access to all sides of the MUGA for maintenance of the surrounding soft landscaping.

The new MUGA fencing will be around 1.2m higher than the existing boundary fencing along Herlwyn Avenue however it will for the most part be set back from the boundary line therefore minimising the appearance of the increased height from the street scene.

The Proposed fencing will comprise 2.8m high 76mm x 12.5mm x 4mm weld mesh fencing. The fencing is specifically designed to inhibit climbing due to the spacing of its welded wires, whilst still provide high visibility through the fencing minimising the visual impact of its installation.

In this situation as the fencing will be installed behind the existing palisade fencing along the boundary, the visual impact is expected to be minimal. The fencing panels and posts will be powder coated steel, of a colour to match the existing boundary fencing.

The proposal would not raise any specific issues with respect to security.

**7.12 Disabled access**

No disabled access issues are considered to arise from the proposals.

**7.13 Provision of affordable & special needs housing**

Not applicable to this application.

**7.14 Trees, landscaping and Ecology**

There are currently a number of trees located on the south boundary adjacent to the site which provide a degree of screening to the proposed location of the MUGA. It is proposed that 3 No. new trees be planted to replace those removed and to form a natural screen between the MUGA and remaining playground areas.

**7.15 Sustainable waste management**

This is not applicable to this type development.

**7.16 Renewable energy / Sustainability**

It is not considered appropriate or necessary to require the incorporation of any additional renewable energy or sustainable measures upon the scheme other than those required to be addressed as part of the requirement of Building Regulations.

**7.17 Flooding or Drainage Issues**

The scheme is not considered to raise any flooding or drainage issues to this site. The site is not located within a Flood Zone.

#### **7.18 Noise or Air Quality Issues**

Given the small scale and nature of the scheme it is not considered it will have any material impact on noise or air quality issues to the site or locality.

#### **7.19 Comments on Public Consultations**

None.

#### **7.20 Planning obligations**

The proposal would not necessitate the provision of any planning obligations to mitigate its impacts.

The scheme does not propose an increase in floorspace which would make it liable for any payments under the Mayoral Community Infrastructure Levy.

#### **7.21 Expediency of enforcement action**

Not applicable to this application.

#### **7.22 Other Issues**

None.

### **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

### **9. Observations of the Director of Finance**

Not applicable to this application.

### **10. CONCLUSION**

For the reasons provided throughout this report, the application is considered to be

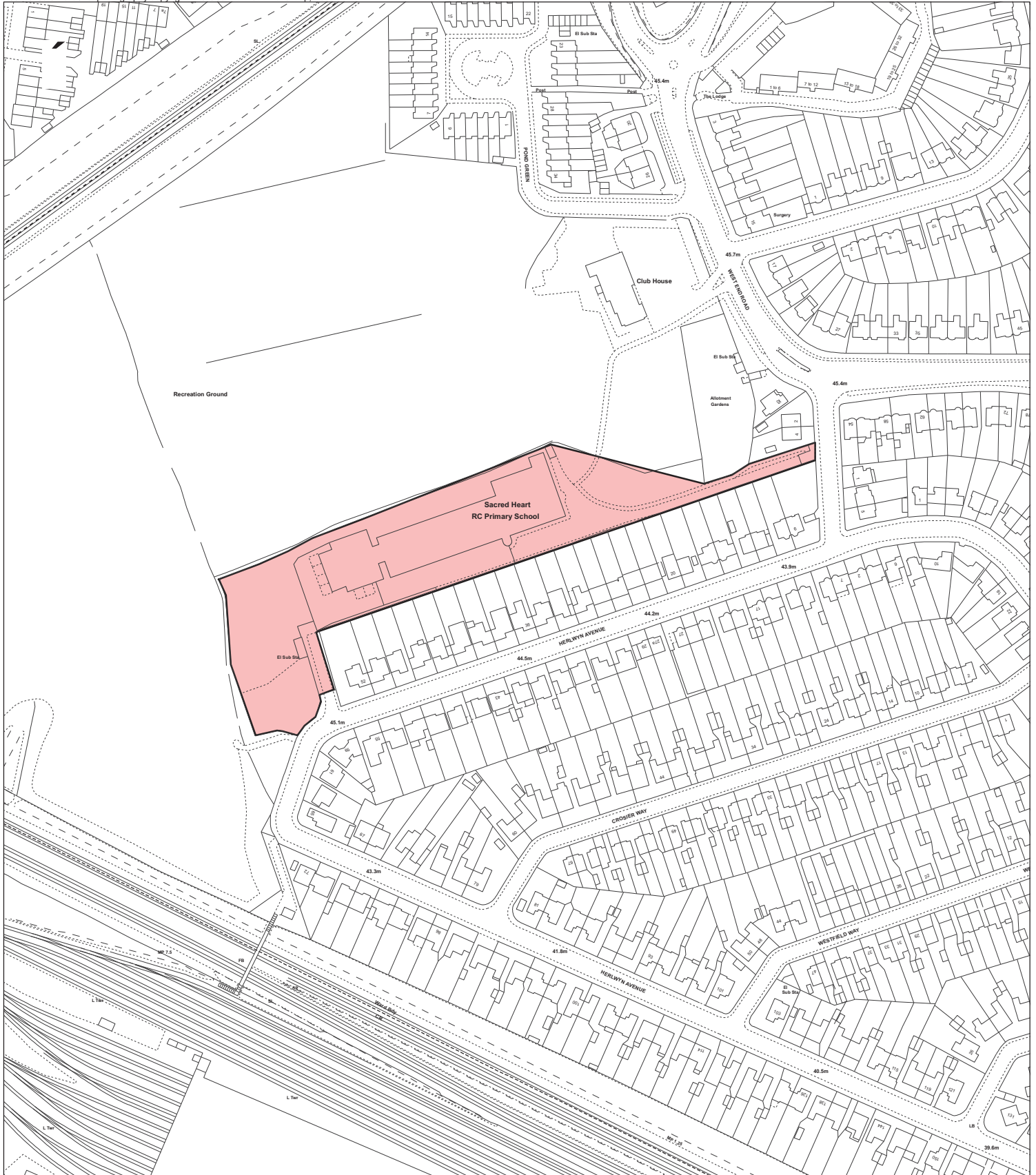
appropriate and acceptable, and to comply with the relevant planning policies and planning guidance for the site. Therefore, the application is recommended for approval.

#### **11. Reference Documents**

National Planning Policy Framework  
Hillingdon Unitary Development Plan Saved Policies (September 2007)

**Contact Officer:** Matt Kolaszewski

**Telephone No:** 01895 250230



**Notes**



Site Boundary

For identification purposes only.

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Site Address

**Sacred Heart RC Primary School,  
Herlwyn Avenue,  
Ruislip**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:

**386/APP/2012/750**

Scale

**1:1,250**

Planning Committee

**North**

Date

**Page 70**

**July 2012**



**HILLINGDON**  
LONDON

## **REPORT OF THE DIRECTOR OF PLANNING, ENVIRONMENT, EDUCATION AND COMMUNITY SERVICES**

### **S.106/278 PLANNING AGREEMENTS - QUARTERLY FINANCIAL MONITORING REPORT**

#### **SUMMARY**

This report provides financial information on s106 and s278 agreements in the North Planning Committee area up to 31 March 2012 where the Council has received and holds funds.

#### **RECOMMENDATION**

**That Members note the contents of this report.**

#### **INFORMATION**

1. Circular 05/05 and the accompanying best practice guidance requires local planning authorities to consider how they can inform members and the public of progress in the allocation, provision and implementation of obligations whether they are provided by the developer in kind or through a financial contribution.
2. The information contained in this report was reported to Cabinet on 21 June 2012 and updates the information received by Cabinet in March 2012. The attached Appendix 1 provides updated financial information on s106 and s278 agreements in the North Planning Committee area up to 31 March 2012, where the Council has received and holds funds.
3. Appendix 1 shows the movement of income and expenditure taking place during the financial year. The agreements are listed under Cabinet portfolio headings. Text that is highlighted in bold indicates key changes since the previous report of April 2012 to the Planning Committee. Figures shown in bold under the column headed 'Total income as at 31/03/12' indicate new income received. Agreements asterisked under the column headed 'case ref' are those where the Council holds funds but is unable to spend for a number of reasons. These include cases where the funds are held as a returnable security deposit for works to be undertaken by the developer and those where the expenditure is dependant on other bodies such as transport operators. In cases where schemes have been completed and residual balances refunded, the refund amount is either the amount listed in the "Balance of Funds" column or where the amount listed in this column is zero the difference between the amounts listed in the columns titled "Total Income as at 31/12/11" and "Total Income as at 31/03/12".

4. Members should note that in the Appendix, the 'balances of funds' held include funds that may already be committed for projects such as affordable housing and school expansion projects. Expenditure must be in accordance with the legal parameters of the individual agreements and must also serve a planning purpose and operate in accordance with legislation and Government guidance in the form of Circular 05/2005. The Council has adopted Supplementary Planning Guidance for Planning Obligations that provides the framework in which the Council will operate.
5. Members should also note that the listed "balances of funds", i.e. the difference between income received and expenditure, is not a surplus. As explained in a previous report, a majority of the funds is linked to projects that are already underway or programmed but have not been drawn down against the relevant s106 (or s.278) cost centre. The column labelled "balance spendable not allocated" shows the residual balance of funds after taking into account funds that the Council is unable to spend and those that it has committed to projects.

### **Financial implications**

6. This report provides information on the financial status on s106 and s278 agreements up to 31 March 2012. The recommendation to note has no financial implications.

### **CORPORATE CONSULTATIONS CARRIED OUT**

#### Legal

It is a requirement of the District Audit report into planning obligations and the Monitoring Officers report that regular financial statements are prepared.

### **EXTERNAL CONSULTATIONS CARRIED OUT**

There are no external consultations required on the contents of this report.

### **BACKGROUND DOCUMENTS**

ODPM Circular 05/2005 'Planning Obligations'  
 District Auditor's "The Management of Planning Obligations" Action Plan May 1999  
 Monitoring Officers Report January 2001  
 Cabinet Report December 2002 / March 2003 / October 2003 / January 2004 / June 2004 / September 2004 / November 2004 / March 2005 / July 2005 / October 2005 / December 2005 / March 2006 / July 2006 / Sept 2006 / November 2006 / March 2007 / July 2007 / September 2007 / December 2007 / March 2008 / June 2008 / September 2008 / December 2008 / March 2009/ June 2009 / September 2009 / December 2009 / March 2010/ June 2010/ September 2010 / December 2010/ March 2011/ June 2011/ September 2011/ December 2011/March 2012/June 2012  
 Planning Obligations Supplementary Planning Document Adopted July 2008.

**Contact Officer:** Nikki Wyatt

**Telephone No:** 01895 558145

North Planning Committee – 19<sup>th</sup> July 2012  
 PART I - MEMBERS, PUBLIC & PRESS

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME AS AT 31/03/12	TOTAL INCOME AS AT 31/12/11	TOTAL EXPENDITURE AS AT 31/03/12	TOTAL EXPENDITURE AS AT 31/12/11	2011 /2012 EXPENDITURE To 31/03/12	BALANCE OF FUNDS AS AT 31/03/12	BALANCE SPENDABLE NOT ALLOCATED AS AT 31/03/12	COMMENTS (as at mid May 2012)
		<b>SECTION 278</b>								
		<b>PORTFOLIO: PLANNING TRANSPORTATION AND RECYCLING</b>								
PT/278/66/135*32	Northwood	10A Sandy Lodge Way, Northwood 54671/APP/2002/54	7,458.07	7,458.07	2,458.00	2,458.00	0.00	5,000.07	0.00	Improvement of visibility for junction of Sandy Lodge Way & Woodridge Way. ECU fees have been claimed and £5,000 security remains. Works substantially complete 12 month maintenance period, ended 16 September 2006. Final certificate has been prepared. Security held to part offset outstanding education contribution which is being sought via legal proceedings.
PT/278/63/175A*49	South Ruislip	BFPO, R.A.F Northolt 189/APP/2006/2091	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	0.00	£5k received as the security deposit for the due and proper implementation of junction works at the White House Gate entrance to the development. Signals complete and in operation. Currently within 12 month maintenance period. Date of final completion to be confirmed.
PT/278/64/173	Eastcote & East Ruislip	R.A.F. Eastcote 10189/APP/2004/1781	19,200.00	19,200.00	12,201.13	12,201.13	0.00	6,998.87	0.00	Engineers fees paid prior to the execution of an agreement to secure access works associated with this application. Waiting restriction in Lime Grove undertaken. Elm Avenue Grove junction improvement pending. Elm Ave Pedestrian crossing technical approval pending (£5,500) design fees received plus further £6,700 for temporary footpath works carried out by LBH. £7,500 engineering fees claimed. Funds spent towards temporary footpath works. Further £5,000 security deposit for proper execution of highway works.
PT/278/72/231A*66	West Ruislip	R.A.F West Ruislip (Ickenham Park) Design check on S278 Designs 38402/APP/2007/1072	53,986.57	53,986.57	27,486.57	27,486.57	0.00	26,500.00	0.00	Fees received for design checks. Pelican crossing and signals on Long Lane. S278 agreement and technical approval pending. Further £18,000 returnable deposit received to ensure reinstatement of temporary crossover on Aylesham Drive. Further fees received towards inspection fees and traffic orders. Spend towards fees & inspection.
PT/278/73	South Ruislip	R.A.F Northolt - South Ruislip/Main Gate 189/APP/2007/1321	2,000.00	2,000.00	0.00	0.00	0.00	2,000.00	0.00	Fees received for design checks. Junction improvements at West End Road/ Bridgewater Road. S278 agreement and technical approval pending.
PT/278/75/218A	Harefield	The Harefield Academy, Harefield 1109/APP/2006/825	72,011.08	72,011.08	60,059.07	59,555.07	15,087.48	11,952.01	0.00	Fees received for design checks. Alteration to Academy entrance and proposed zebra crossing. S278 agreement and technical approval pending. fees received for design checks for pedestrian crossing. £68,011.08 received for provision of zebra crossing on Northwood Road. <b>Scheme complete, awaiting final invoices.</b>
PT/278/77/197*62	Ruislip Manor	Windmill Hill Public House, Pembroke Road, Ruislip 11924/APP/2632	24,000.00	24,000.00	1,000.00	1,000.00	0.00	23,000.00	0.00	Fees received for design checks (£1,000). £23,000 received as a security deposit to ensure works are carried out to a satisfactory standard. £1,000 engineering fees claimed.
PT/278/78/238G*76	West Ruislip	Fmr Mill Works, Bury Street, Ruislip 6157/APP/2009/2069	19,782.00	19,782.00	14,782.00	14,782.00	0.00	5,000.00	0.00	Fees received for design checks and monitoring & supervision. £5,000 received as a security deposit to ensure highway works are carried out to a satisfactory standard. Fees claimed for design checks & monitoring (£14,752).
		<b>SECTION 278 SUB - TOTAL</b>	<b>203,437.72</b>	<b>203,437.72</b>	<b>117,966.77</b>	<b>117,482.77</b>	<b>15,087.48</b>	<b>85,450.95</b>	<b>0.00</b>	
		<b>SECTION 106</b>								
		<b>PORTFOLIO: PLANNING TRANSPORTATION AND RECYCLING</b>								
PT/25/55*24	South Ruislip	J Sainsbury, 11 Long Drive, Ruislip 33667/APP/07/0684	37,425.09	37,425.09	0.00	0.00	0.00	37,425.09	0.00	Highway improvements adjacent to the site. Legal advice stated that because of time that has elapsed, it would not be reasonable to proceed without Sainsbury's agreement. Officers investigating the potential to utilise these funds for traffic congestion mitigation at that junction to complement current works that have been commissioned for that location. A portion of land owned by Sainsbury's would need to be dedicated as public highway for the scheme to be feasible. Traffic congestion mitigation scheme is fully funded. Officers investigating whether improvements could be tied into 114 bus route project. Excess funds are to be refunded to the developer following the date of the Final Account.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME AS AT 31/03/12	TOTAL INCOME AS AT 31/12/11	TOTAL EXPENDITURE AS AT 31/03/12	TOTAL EXPENDITURE AS AT 31/12/11	2011 /2012 EXPENDITURE To 31/03/12	BALANCE OF FUNDS AS AT 31/03/12	BALANCE SPENDABLE NOT ALLOCATED AS AT 31/03/12	COMMENTS (as at mid May 2012)
PT/76/119	Northwood	Land at 64 Ducks Hill Road Northwood/26900L/99/1077	35,253.56	35,253.56	28,119.15	28,119.15	2,892.92	7,134.41	0.00	To provide a speed camera, anti-skid surface and associated road markings in Ducks Hill Road. Speed camera cannot be installed in this location, as the accident rate in this location is below the threshold established by TIL. Deed of variation not required site included in vehicle activated sign (VAS) forward programme. Officers looking into feasibility of Driver Feedback Sign". Implementation due Spring 2007, subject to feasibility. Quotes being sought with the view to possible purchase of signs. Interest accrued. No time constraints. Utilities works completed Nov 08. Scheme programmed for implementation April/May 2010. Spend towards the provision of anti skid and electrical work. VAS signs installed, scheme complete, awaiting invoices.
PT/112/205A	Eastcote	RAF Eastcote, Lime Grove, Ruislip. 10189/APP/2004/1781	7,502.15	7,502.15	550.00	550.00	0.00	6,952.15	0.00	Contribution towards improvements to the London cycle network within a radius of 1500m of the site. Funds to be spent by September 2013. Funds allocated (26/10/2010) towards the provision of a cycle shelter as part of Eastcote Station improvements.
PT/117/231B	Ruislip	Former RAF West Ruislip (Ickenham Park), High Road, Ickenham. 39402/APP/2007/1072	30,000.00	30,000.00	0.00	0.00	0.00	30,000.00	30,000.00	Funds received towards improvements to cycle route 89/network 93 as part of the London Cycle Network. Funds to be spent within 5 years of receipt (Nov 2015).
PT/120/241A	Ruislip	28 & 28a Kingsend, Ruislip. 5740/APP/2008/1214	2,500.00	2,500.00	0.00	0.00	0.00	2,500.00	0.00	Funds received towards the undertaking of a TA to assess the cumulative traffic impact of flattened developments in Kingsend. Funds to be spent within 5 years of receipt (April 2016).
		<b>PLANNING TRANSPORTATION &amp; RECYCLING SUB - TOTAL</b>	<b>112,680.80</b>	<b>112,680.80</b>	<b>28,669.15</b>	<b>28,669.15</b>	<b>2,892.92</b>	<b>84,011.65</b>	<b>30,000.00</b>	
		<b>PLANNING TRANSPORTATION &amp; RECYCLING TOTAL</b>	<b>316,118.52</b>	<b>316,118.52</b>	<b>146,655.92</b>	<b>146,151.92</b>	<b>17,980.40</b>	<b>169,462.60</b>	<b>30,000.00</b>	
		<b>PORTFOLIO: CULTURE, SPORT AND LEISURE</b>								
CSL/6/189A	Ruislip	30 Kings End, Ruislip. 46299/APP/2006/2165	7,674.48	7,674.48	0.00	0.00	0.00	7,674.48	0.00	Towards the provision of community facilities in the immediate vicinity of the land. No time limits. Earmarked towards Manor Farm Library. Subject to formal allocation of funding.
CSL/7/195A	Eastcote	Highgrove House, Eastcote Road, Ruislip. 10622/APP/2006/2494	9,578.00	9,578.00	0.00	0.00	0.00	9,578.00	0.00	Funds received towards the improvement of community facilities in the vicinity of the site. No time constraints on the expenditure of funds. Contribution allocated towards a programme of improvements at Highgrove Pool. Cabinet Member approval received 1/09/2011.
CSL/9/199A	Ruislip	41, Kingsend, Ruislip. 2792/APP/2006/3451	9,338.43	9,338.43	0.00	0.00	0.00	9,338.43	0.00	Funds received towards the provision of community facilities in the Borough. No time constraints. Earmarked towards Manor Farm Library. Subject to formal allocation of funding.
CSL/10/200B	Manor	Former Ruislip Manor Library, Victoria Road, Ruislip. 14539/APP/2006/2102	5,200.00	5,200.00	0.00	0.00	0.00	5,200.00	0.00	Funds received towards improvements to nearby community facilities. Earmarked towards Ruislip Manor Library and Community Resources Centre. Subject to formal allocation of funding.
CSL/11/205B	Eastcote	RAF Eastcote, Lime Grove, Ruislip. 10189/APP/2004/1781	277,131.54	277,131.54	264,134.80	161,988.37	215,631.00	12,996.74	0.00	Contribution towards the provision of improvement of leisure, youth and/or cultural services within Eastcote and East Ruislip ward boundary. Funds to be spent by September 2014. £226k from this contribution has been allocated towards Highgrove pool improvement programme (Cabinet Member approval received 1/09/2011). <b>Works began on site March 2012, scheme to be completed in 2012/13.</b>
CSL/12/215A	Ruislip	5 - 11, Reservoir Road, Ruislip 61134/APP/2006/260	13,338.00	13,338.00	0.00	0.00	0.00	13,338.00	13,338.00	Contribution received towards the provision of community facilities in the locality. No time limits on spend. Earmarked towards the provision of a new community facility at the former RAF Ruislip, Lime Grove. Subject to formal allocation.



CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2011 / 2012 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2012)
			AS AT 31/03/12	AS AT 31/12/11	AS AT 31/03/12	AS AT 31/12/11	To 31/03/12	AS AT 31/03/12	AS AT 31/03/12	
CSL/15/231D	Ruislip	Former RAF Ruislip (Ickenham Park), High Road, Ickenham 35402/APP/2007/1072	269,750.00	269,750.00	0.00	0.00	0.00	269,750.00	0.00	Funds received towards the construction of a new facility or the extension of an existing facility to provide for improvement of leisure, elderly, youth and/or cultural services within the locality of the land. Funds to be spent by November 2015. Funds earmarked towards improvements to the Compass Theatre, subject to an eligible scheme and formal allocation.
CSL/17/238A	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2009/2069	31,645.25	31,645.25	0.00	0.00	0.00	31,645.25	3,268.46	Funds received as 50% of the community facilities contribution towards community facilities schemes or measures within the Borough. Funds to be spent by February 2018. Further £16,135.84 received as remaining 50% of community facilities contribution. Funds earmarked towards the provision of a new community facility at the former RAF Ruislip, Lime Grove. Subject to formal allocation.
CSL/18/238B	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2009/2069	3,268.46	3,268.46	0.00	0.00	0.00	3,268.46	3,268.46	Funds received towards the provision of library facilities and/or library books within the Borough. Funds to be spent by February 2018.
CSL/19/237A	Eastcote	Bishop Ramsey School (lower site), Eastcote Road, Ruislip. 19731/APP/2006/1442	24,130.14	24,130.14	0.00	0.00	0.00	24,130.14	24,130.14	Funds received towards environmental improvements and community facilities within a 3 mile radius of the site. Funds to be spent by February 2016. Funds earmarked towards the provision of a new community facility at the former RAF Ruislip, Lime Grove. Subject to formal allocation.
CSL/20/239A	Eastcote	Highgrove House, Eastcote Road, Ruislip. 10622/APP/2006/2294 & 10622/APP/2009/2504	22,350.00	22,350.00	0.00	0.00	0.00	22,350.00	0.00	Funds received towards the provision or improvement of leisure, elderly, youth and/or cultural services or facilities within the Borough. No time limits. Funds allocated towards Highgrove Pool improvement programme, Cabinet Member approval received 1/09/2011.
CSL/22/241B	Ruislip	26 & 29a Kingsend, Ruislip. 5740/APP/2008/1214	3,250.00	3,250.00	0.00	0.00	0.00	3,250.00	3,250.00	Funds received towards the expansion of local community facilities in the area of the development. Funds to be spent within 5 years of receipt (April 2016).
CSL/23/243A	South Ruislip	Former Tilly Ho P.H., West End Road, Ruislip. 8418/APP/2006/913&914	14,300.00	14,300.00	0.00	0.00	0.00	14,300.00	14,300.00	Funds received towards the cost of providing community facilities in the vicinity of the development. Funds to be spent within 7 years of receipt (June 2018).
CSL/29/263A	South Ruislip	Former South Ruislip Library, Victoria Road, Ruislip (plot A). 67080/APP/2010/1419	356.03	356.03	0.00	0.00	0.00	356.03	356.03	Contribution received towards the provision of or improvement to library facilities and/or library books in Hillingdon. No time limits
		<b>CULTURE, SPORT AND LEISURE SUB - TOTAL</b>	<b>691,310.33</b>	<b>691,310.33</b>	<b>264,134.80</b>	<b>161,988.37</b>	<b>215,631.00</b>	<b>427,175.53</b>	<b>90,287.88</b>	
<b>PORTFOLIO: EDUCATION AND CHILDREN'S SERVICES</b>										
EYL/66/144	Northwood	68 Ducks Hill Road 11900/APP/2005/1087	183,044.65	183,044.65	99,819.57	99,819.57	0.00	83,225.08	0.00	Towards the costs of providing primary and secondary school places in the Borough. No time constraints. £16,400 spent on Ruislip High School. £75,852.85 spent towards Ruislip High School costs. Earmarked for Primary School expansions in north Ruislip/Northwood areas. Further £1,423 spent towards Ruislip High School. £5,000 spent towards Sacred Heart Primary School modernisation.
EYL/87/143B	Harefield	Dairy Farm, Breakspare Rd, Harefield 27314/APP/2005/844	103,122.52	103,122.52	74,935.52	74,935.52	0.00	28,187.00	28,187.00	For the provision of educational places in the Borough. Funds not spent by 25 August 2014 are to be repaid. Earmarked for primary School expansions in north Ruislip/Northwood areas. Funds spent towards Sacred Heart Primary School modernisation. Further £28,187 received as an additional contribution for provision of educational places in the borough. No time limits on spend.
EYL/102/196	Harefield	19, Vernon Drive, Harefield. 57498/APP/2008/3031	739.00	739.00	0.00	0.00	0.00	739.00	739.00	Funds received towards the provision of nursery school places in the Borough. No time limits.
EYL/103/197A	Ruislip Manor	Windmill Public House, Pembroke Road, Ruislip. 11924/APP/2632	68,689.00	68,689.00	34,980.79	34,980.79	0.00	33,708.21	33,708.21	Funds received towards the provision of education facilities within the locality. Funds to be spent within 5 years of receipt (Feb 2014). £34,980.79 spent towards Ruislip High School.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME		TOTAL EXPENDITURE	TOTAL EXPENDITURE		2011 / 2012 EXPENDITURE	BALANCE OF FUNDS		BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2012)
			AS AT 31/03/12	AS AT 31/12/11		AS AT 31/03/12	AS AT 31/12/11		AS AT 31/03/12	AS AT 31/03/12		
EYL105/199B	Ruislip	41, Kingsend, Ruislip. 2792/APP/2006/3451	37,459.20	37,459.20	37,459.20	37,459.20	40.00	0.00	0.00	0.00	Funds received towards the cost of providing education places within the Borough. No time limits on spend. Funds allocated towards the provision of an additional form of entry and sixth form centre at Ruislip High school. (Cabinet Member decision 21/10/2010). £37,419.20 spent towards Ruislip High School.	
EYL108/202	Ickenham	179, Swakeleys Road, Ickenham. 52293/APP/2006/2360	8,037.00	8,037.00	0.00	0.00	0.00	8,037.00	8,037.00	0.00	Funds received towards the provision of additional or improved education facilities within a 3 mile radius of the site. No time limit on spend.	
EYL110/205C	Eastcote	RAF Eastcote, Lime Grove, Ruislip. 10189/APP/2004/1781	3,734,767.17	3,734,767.17	1,000,848.79	1,000,848.79	654,003.75	2,733,918.38	2,729,553.09	2,729,553.09	First and second instalments towards the cost of providing educational places in or improvements to nursery, primary or secondary schools in the North Secondary Planning Area. Nursery (£421,026.76), primary (£750,525.95) and secondary (£558,988.39). Funds to be spent within 7 years of receipt of the first contribution (September, 2016). Secondary contribution (£558,988) allocated and spent towards the provision of an additional form of entry and sixth form centre at Ruislip High school. (Cabinet Member decision 21/10/2010). £342,000 from the Nursery contribution allocated and spent towards Deanfield Early Years Centre. (Cabinet Member decision 28/10/2010). Third and final instalment received towards the same purpose. Nursery (£437,000), Primary (£779,000) and secondary (£684,000).	
EYL112/208	Northwood	110, Green Lane, Northwood 46543/APP/2005/2697	4,085.75	4,085.75	0.00	0.00	0.00	4,085.75	4,085.75	4,085.75	Funds received towards additional or improved education facilities in the Northwood area. No time limits.	
EYL113/211	Ickenham	1a, Woodstock Drive, Ickenham. 65754/APP/2009/200	8,953.00	8,953.00	0.00	0.00	0.00	8,953.00	8,953.00	8,953.00	Funds received towards additional or improved education facilities within a 3 mile radius of the site. No time limits.	
EYL115/215B	Ruislip	5 to 11 Reservoir Road, Ruislip. 61134/APP/2006/260	22,087.13	22,087.13	0.00	0.00	0.00	22,087.13	22,087.13	22,087.13	Funds received towards the provision of education facilities within the Borough of Hillingdon. No time limits on spend.	
EYL117/213	Northwood	1, Oakhurst, Northgate, Northwood. 30779/APP/2009/2036	4,441.00	4,441.00	0.00	0.00	0.00	4,441.00	4,441.00	4,441.00	Funds received towards additional or improved education facilities to accommodate primary and nursery places within a 3 mile radius of the development. No time limits.	
EYL120/217A	Herefield	34 High Street, Herefield. 259/APP/2009/2391	7,193.00	7,193.00	0.00	0.00	0.00	7,193.00	7,193.00	7,193.00	Funds received towards the provision of additional or improved education facilities within a 3 mile radius of the site. No time limit on spend.	
EYL121/221	Ruislip Manor	2, Windmill Hill, Ruislip. 35595/APP/2008/2951	6,438.00	6,438.00	0.00	0.00	0.00	6,438.00	6,438.00	6,438.00	Funds received towards the provision of additional nursery and primary school places in the vicinity of the site. No time limits.	
EYL133/233	Ickenham	6, Warren Road, Ickenham 65990/APP/2009/934	15,492.00	15,492.00	0.00	0.00	0.00	15,492.00	15,492.00	15,492.00	Funds received towards the provision of additional or improved education facilities within a 3 mile radius of the site to accommodate the nursery, primary & secondary school child yield arising from the development. No time limit on spend.	
EYL134/234	Ruislip	125a, High Street, Ruislip. 2061/APP/2009/2175	5,054.00	5,054.00	0.00	0.00	0.00	5,054.00	5,054.00	5,054.00	Funds received towards the provision of additional or improved educational facilities within a 3 mile radius of the site to accommodate the primary and/or secondary school child yield arising from the development. No time limits.	
EYL135/235	South Ruislip	325, Victoria Road, Ruislip 63602/APP/2009/2288	12,896.00	12,896.00	0.00	0.00	0.00	12,896.00	12,896.00	12,896.00	Funds received towards the provision of additional or improved educational facilities within a 3 mile radius of the site to accommodate the child yield arising from the development. No time limits.	
EYL136/236	Herefield	Casa De Boa Vista, Belfry Avenue, Herefield, 64613/APP/2009/2180	16,216.00	16,216.00	0.00	0.00	0.00	16,216.00	16,216.00	16,216.00	Funds received towards additional/improved educational facilities within a 3 mile radius of the site to accommodate nursery, primary and secondary child yield arising from the development. No time limits.	
EYL137/237B	Eastcote	Bishop Ramsey School (lower site), Eastcote Road, Ruislip. 19731/APP/2006/1442	426,346.97	426,346.97	0.00	0.00	0.00	426,346.97	426,346.97	426,346.97	Funds received towards the costs of providing primary education places to primary schools in Primary Area 3 - Funds to be spent by February 2016.	
EYL138/238C	West Ruislip	Former Mill Works, Bury Street, Ruislip, 6157/APP/2009/2069	512,742.69	512,742.69	0.00	0.00	0.00	512,742.69	512,742.69	512,742.69	Funds received as 50% of the education contribution towards the cost of providing nursery, primary and secondary facilities in the Borough (See legal agreement for details of funding split). Funds to be spent by February 2018. Further £261,446.35 received as remaining 50% education contribution.	

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2011 /2012 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2012)
			AS AT 31/03/12	AS AT 31/12/11	AS AT 31/03/12	AS AT 31/12/11	To 31/03/12	AS AT 31/03/12	AS AT 31/03/12	
EYL139/239B	Eastcote	Highgrove House, Eastcote Road, Ruislip. 10622/APP/2006/2294 & 10622/APP/2009/2504	64,920.00	64,920.00	0.00	0.00	0.00	64,920.00	64,920.00	Funds received towards the costs of providing educational improvements or facilities in the Borough. No time limits.
EYL143/241C	Ruislip	28 & 28a Kingsend, Ruislip. 5740/APP/2008/1214	6,063.75	6,063.75	0.00	0.00	0.00	6,063.75	6,063.75	Funds received towards the provision of additional or improved educational facilities to accommodate child yield arising from the development. Funds to be spent by April 2016.
EYL145/243B	South Ruislip	Former Tally Ho P.H, West End Road, Ruislip. 8416/APP/2006/913&914	75,989.00	75,989.00	0.00	0.00	0.00	75,989.00	75,989.00	Funds received towards the provision of additional educational facilities in the borough. Funds to be spent within 7 years of receipt (June 2019).
EYL147/251	South Ruislip	Land between 10 & 16 Manor Gardens, Ruislip. 6373/APP/2008/1963	10,769.00	10,769.00	0.00	0.00	0.00	10,769.00	10,769.00	Contribution received towards additional or improved education facilities within a 3 mile radius of the site to accommodate child yield arising from the development. No time limits.
EYL152/255	South Ruislip	Land between 11 Brackensbridge Drive & 48 Whitebatts Road, Ruislip. 56805/APP/2011/436	66,038.00	66,038.00	0.00	0.00	0.00	66,038.00	66,038.00	Contribution received towards providing improvements to education facilities in the vicinity of the site arising from the needs of the development. No time limits for spend.
EYL153/256	Harefield	Former garages site, rear of 34-44 Sullivan Crescent, Harefield. 60653/APP/2011/907	46,347.00	46,347.00	0.00	0.00	0.00	46,347.00	46,347.00	Contribution received towards providing improvements to education facilities in the vicinity of the site arising from the needs of the development. No time limits for spend.
EYL160/263B	South Ruislip	Former South Ruislip Library, Victoria Road, Ruislip (plot A). 67060/APP/2010/1419	12,704.43	12,704.43	0.00	0.00	0.00	12,704.43	12,704.43	Funds received towards the costs of additional and/or improved educational facilities within the London Borough of Hillingdon. No time limits.
EYL164/270	Eastcote & East Ruislip	103 Park Ave, Ruislip 49273/APP/2011/833	10,885.00	0.00	0.00	0.00	0.00	10,885.00	10,885.00	Contribution received towards providing improvements to education facilities in the vicinity of the site arising from the needs of the development. No time limits for spend.
		<b>EDUCATION, YOUTH AND LEISURE SUB - TOTAL</b>	<b>5,471,520.26</b>	<b>5,460,635.26</b>	<b>1,248,043.87</b>	<b>1,248,043.87</b>	<b>654,043.75</b>	<b>4,223,476.39</b>	<b>4,135,886.02</b>	
<b>PORTFOLIO: FINANCE AND CORPORATE SERVICES</b>										
		<b>FINANCE &amp; CORPORATE SERVICES SUB - TOTAL</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	
<b>PORTFOLIO: IMPROVEMENT, PARTNERSHIPS AND COMMUNITY SAFETY</b>										
PPR57/238D	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2009/2069	20,679.21	20,679.21	0.00	0.00	0.00	20,679.21	20,679.21	Contribution towards construction training initiatives within the Borough. Funds to be spent within 7 years of receipt (February 2018).
PPR58/239C	Eastcote	Highgrove House, Eastcote Road, Ruislip. 10622/APP/2006/2294 & 10622/APP/2009/2504	9,667.50	9,667.50	0.00	0.00	0.00	9,667.50	9,667.50	Contribution received towards construction training and the provision of a work place co-ordinator within the Borough. No time limits.
PPR62/231C	Ruislip	Former RAF West Ruislip (Ickenham Park), High Road - Ickenham. 39402/APP/2007/1072	75,000.00	75,000.00	0.00	0.00	0.00	75,000.00	0.00	Funds received towards the installation of 3 CCTV cameras and associated infrastructure within the vicinity of the development. Funds to be spent within 5 years of receipt (Nov 2015). Funds transferred from PT/118/231C.
PPR65/263C	South Ruislip	Former South Ruislip Library, Victoria Road, Ruislip (plot A). 67060/APP/2010/1419	9,782.64	9,782.64	0.00	0.00	0.00	9,782.64	9,782.64	Funds received towards the provision of construction training courses delivered by recognised providers and the provision of a construction work placement coordinator within Hillingdon. No time limits.
		<b>PERFORMANCE, PARTNERSHIPS &amp; REGENERATION SUB - TOTAL</b>	<b>115,129.35</b>	<b>115,129.35</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>115,129.35</b>	<b>40,129.35</b>	
<b>PORTFOLIO: FINANCE PROPERTY &amp; BUSINESS SERVICES</b>										

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME AS AT 31/03/12	TOTAL INCOME AS AT 31/12/11	TOTAL EXPENDITURE AS AT 31/03/12	TOTAL EXPENDITURE AS AT 31/12/11	2011 /2012 EXPENDITURE To 31/03/12	BALANCE OF FUNDS AS AT 31/03/12	BALANCE SPENDABLE NOT ALLOCATED AS AT 31/03/12	COMMENTS (as at mid May 2012)
E/46/176B	Northwood	Former True Lovers' Knot Public House, Rickmansworth Road, Northwood 27717/APP/2007/1440	21,195.00	21,195.00	0.00	0.00	0.00	21,195.00	0.00	Funds received towards the costs of providing environmental improvements at "The Gravel Pits" within the vicinity of the development or other green space within the Borough. No time constraints. Area officer is drawing up a programme of works to be implemented at this site. Funds allocated towards scheme of improvements at The Gravel Pits. (Cabinet Member Decision 3/9/2010).
E/47/177B	Manor	41-55, Windmill Hill, Ruislip planning ref. 48283/APP/2006/2353	38,258.39	38,258.39	0.00	0.00	0.00	38,258.39	0.00	Funds received towards open green space and recreational open space within a 3 mile radius of the land. This sum includes approximately £8k for bins and benches and £30k for children's play space. Funds not spent within 5 years of receipt (24 December 2012) are to be refunded. Officers currently drawing up a programme of works for Warrender Park. Funds allocated towards a scheme of improvements at Warrender Park (Cabinet Member Decision 3/9/2010).
E/48/181A	West Ruislip	Bury Wharf, Bury Street Ruislip. Planning ref. 19033/APP/2007/3269	2,030.70	2,030.70	1,315.31	1,315.31	0.00	715.39	0.00	Funds received for an interpretation sign to be located in the nearby plot of land known as Murphy's field, more particularly described as Public Open Space to the south of the development site immediately adjoining Ducks Hill Road. Interest accrued must be applied to the above purpose. Funds not spent prior to 8 February 2013 are to be refunded. Project complete, awaiting invoices. Spend against revenue account, costs to be journalised to show for March quarter. Journal completed.
E/50/180B	Northwood Hills	16, Watford Rd and 36, Brookend Drive, Northwood planning ref. 62535/APP/2007/2726	20,253.00	20,253.00	20,000.00	20,000.00	20,000.00	253.00	0.00	Funds received towards the costs of providing local open space facilities at Frithwood Park within the vicinity of the development or other green spaces within the borough of Hillingdon. No time limits. Officers looking at programme of improvements for Frithwood Park. Funds allocated towards the provision of a new play area at Frithwood Park. (Cabinet Member Decision 3/9/2010). <b>Scheme completed April 2011.</b>
E/56/200C	Manor	Former Ruislip Manor Library, Victoria Road, Ruislip. 14539/APP/2008/2102	5,652.00	5,652.00	5,652.00	5,652.00	5,652.00	0.00	0.00	Funds received towards improvements to nearby open space facilities. No time limits for spend. Funds allocated towards improvements at Bessingby Park Complex. (Cabinet Member Decision 3/6/2010). <b>Scheme complete.</b>
E/57/205D	Eastcote	RAF Eastcote, Lime Grove, Ruislip. 10189/APP/2004/1781	118,803.95	118,803.95	0.00	0.00	0.00	118,803.95	118,803.95	Contribution received towards the provision or improvement of outdoor sports and /or pitch facilities within a 3000m radius of the land. Funds to be spent by September 2014.
E/58/205E	Eastcote	RAF Eastcote, Lime Grove, Ruislip. 10189/APP/2004/1781	28,275.50	28,275.50	0.00	0.00	0.00	28,275.50	0.00	Contribution received to improve the High Grove Nature Reserve and upgrade the path network. Works are specified in the agreement. Following a Deed of variation funds are now to be spent by Sept 2012. <b>Funds allocated towards agreed works at Highgrove Woods Nature Reserve (Cabinet Member Decision 16/3/2012).</b>
E/60/215C	Ruislip	5 - 11 Reservoir Road, Ruislip. 61134/APP/2006/260	28,994.76	28,994.76	0.00	0.00	0.00	28,994.76	28,994.76	Contribution received towards open space/recreation improvements or other green spaces in the locality. No time limits on spend.
E/61/217B	Harefield	34 High Street, Harefield. 259/APP/2009/2391	7,000.00	7,000.00	0.00	0.00	0.00	7,000.00	7,000.00	Funds received towards additional or improved recreation/open space facilities within a 3 mile radius of the site. No time limit.
E/62/231E	Ruislip	Former RAF Ruislip (Ickenham park), High Road, Ickenham. 38402/APP/2007/1072	146,879.75	146,879.75	0.00	0.00	0.00	146,879.75	0.00	Funds received as a commuted sum towards the maintenance of the playing fields as part of the scheme for a period of 10 years. Spend subject to conditions as stipulated in the legal agreement.
E/63/231F	Ruislip	Former RAF Ruislip (Ickenham park), High Road, Ickenham. 38402/APP/2007/1072	30,000.00	30,000.00	0.00	0.00	0.00	30,000.00	30,000.00	Funds to be used for works to improve that part of the Hillingdon Trail which lies outside the boundaries of the development. Funds are to be spent within 5 years of receipt (November 2015).
E/64/238E	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2009/2069	60,125.97	60,125.97	0.00	0.00	0.00	60,125.97	60,125.97	£29,467 received as 50% of the open space contribution towards the provision of open space or open space facilities in the vicinity of the land. First contribution to be spent by February 2016. Further £30,658.10 received as remaining 50% of open space contribution.
E/65/237C	Eastcote	Bishop Ramsey School (lower site), Eastcote Road, Ruislip. 19731/APP/2006/1442	80,431.31	80,431.31	0.00	0.00	0.00	80,431.31	0.00	Funds received towards the off site provision of formal recreational open space in the vicinity of the site. Funds to be spent by February 2016.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2011 / 2012 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2012)
			AS AT 31/03/12	AS AT 31/12/11	AS AT 31/03/12	AS AT 31/12/11	To 31/03/12	AS AT 31/03/12	AS AT 31/03/12	AS AT 31/03/12	
E/66/239D	Eascole	Highgrove House, Eascole Road, Ruislip. 10622/APP/2006/2294 & 10622/APP/2009/2504	10,000.00	10,000.00	0.00	0.00	0.00	0.00	10,000.00	0.00	Contribution received towards the cost of enhancement and/or nature conservation works at Highgrove Woods. No time limits. Funds allocated towards conservation works at Highgrove Woods Nature Reserve (Cabinet Member Decision 16/3/12).
E/68/241D	Ruislip	28 & 28a Kingsend, Ruislip. 5740/A/PP/2006/1214	8,478.00	8,478.00	0.00	0.00	0.00	0.00	8,478.00	8,478.00	Contribution received towards open space provision within the vicinity of the development. Funds to be spent within 5 years of receipt (April 2016)
E/70/243C	South Ruislip	Fmr Tally Ho PH, West End Road, Ruislip. 8418/APP/2006/913&914	28,967.00	28,967.00	0.00	0.00	0.00	0.00	28,967.00	28,967.00	Funds received towards open space and recreational open space in the vicinity of the development. Funds to be spent within 7 years of receipt (June 2018).
E/71/250	South Ruislip	Land adjacent to Downe Barns Farm, West End Road, West End Road, Northolt. 2292/APP/2006/2475	15,000.00	15,000.00	0.00	0.00	0.00	0.00	15,000.00	15,000.00	Funds received as maintenance instalments to assist with the management of Ten Acres Wood Nature Reserve including, staffing, tree & river Maintenance and volunteers' tools & equipment. Funds to be spent within 11 years of receipt (August 2021).
		<b>FINANCE PROPERTY &amp; BUSINESS SERVICES SUB -</b>	<b>650,345.33</b>	<b>650,345.33</b>	<b>26,967.31</b>	<b>26,967.31</b>	<b>25,652.00</b>	<b>623,378.02</b>	<b>297,369.68</b>		
<b>PORTFOLIO: SOCIAL SERVICES, HEALTH AND HOUSING</b>											
H/9/184C *55	West Ruislip	31-46, Pembroke Rd, Ruislip 59816/APP/2006/2896	21,675.10	21,675.10	0.00	0.00	0.00	0.00	21,675.10	0.00	Funds received towards primary health care facilities within a 3 mile radius of the development. Funds not spent by 01/07/2015 must be returned to the developer.
H/11/195B *57	Ruislip	Highgrove House, Eascole Road, Ruislip. 10622/APP/2006/2494	3,156.00	3,156.00	0.00	0.00	0.00	0.00	3,156.00	0.00	Funds received towards the provision of local health care facilities in the vicinity of the site. No time limits.
H/12/197B *58	Ruislip	Windmill Public House, Pembroke Road, Ruislip. 11924/APP/2006/2632	11,440.00	11,440.00	0.00	0.00	0.00	0.00	11,440.00	0.00	Funds received for the provision of primary health care facilities in the Uxbridge area. Funds to be spent within 5 years of receipt (Feb 2014).
H/15/205F *65	Eascole	RAF Eascole, Lime Grove, Ruislip. 10189/APP/2004/1781	184,653.23	184,653.23	0.00	0.00	0.00	0.00	184,653.23	0.00	Funds received towards the cost of providing primary healthcare facilities within the Eastcote and East Ruislip ward boundary or any adjoining ward where it would be reasonable for residents of the development to attend primary healthcare facilities. Funds to be spent by September 2014.
H/19/231G *71	Ruislip	Former RAF Ruislip (Ickenham Park), High Road, Ickenham. 35402/APP/2007/1072	193,305.00	193,305.00	0.00	0.00	0.00	0.00	193,305.00	0.00	Funds received towards the costs of providing primary health care facilities within a 3 mile radius of the development. Funds to be spent within 7 years of receipt. (November 2017).
H/20/238F *72	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2009/2069	31,441.99	31,441.99	0.00	0.00	0.00	0.00	31,441.99	0.00	£15,409 received as 50% of the health contribution towards providing health facilities in the Borough (see legal agreement for further details). First instalment to be spent by February 2018. £16,032 received as remaining 50% health contribution. Funds to be spent by June 2018.
H/21/237D *73	Eascole	Bishop Ramsey School (lower site), Eastcote Road, Ruislip. 19731/APP/2006/1442	22,455.88	22,455.88	0.00	0.00	0.00	0.00	22,455.88	0.00	Funds received towards the provision of primary health care facilities in the Uxbridge area. Funds to be spent by February 2016.
H/22/239E *74	Eascole	Highgrove House, Eascole Road, Ruislip. 10622/APP/2006/2494 & 10622/AP/2009/2504	7,363.00	7,363.00	0.00	0.00	0.00	0.00	7,363.00	0.00	Funds received towards the cost of providing health facilities in the Borough (see legal agreement for further details). No time limits.
H/24/184A	West Ruislip	31-46 Pembroke Road, Ruislip 59816/APP/2006/2896	49,601.53	49,601.53	0.00	0.00	0.00	0.00	49,601.53	0.00	Funds have been earmarked towards the dining centre for Northwood and Ruislip elderly persons association. Funds not spent by 1/07/2015 to be returned. Funds transferred to Social Services, Health & Housing Portfolio from CSL/5/184A.
H/28/263D *81	South Ruislip	Former South Ruislip Library, Victoria Road, Ruislip (plot A). 67050/APP/2010/1419	3,353.86	3,353.86	0.00	0.00	0.00	0.00	3,353.86	0.00	Funds received towards the cost of providing health facilities in the Authority's area including the expansion of health premises to provide additional facilities, new health premises or services (see legal agreement for details). No time limit for spend.
		<b>SOCIAL SERVICES HEALTH &amp; HOUSING SUB-TOTAL</b>	<b>528,445.59</b>	<b>528,445.59</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>528,445.59</b>	<b>0.00</b>	

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2011 / 2012 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2012)
		SECTION 106 SUB - TOTAL	AS AT 31/03/12 7,569,431.66	AS AT 31/12/11 7,559,546.66	AS AT 31/03/12 1,567,815.13	AS AT 31/12/11 1,465,668.70	To 31/03/12 898,219.67	AS AT 31/03/12 6,001,616.53	AS AT 31/03/12 4,593,672.93	
		GRAND TOTAL ALL SCHEMES	7,772,869.38	7,761,984.38	1,685,801.90	1,583,151.47	913,307.15	6,087,067.48	4,593,672.93	
<b>NOTES</b>										
The balance of funds remaining must be spent on works as set out in each individual agreement.										
Bold and strike-through text indicates key changes since the Cabinet report for the previous quarter's figures.										
Bold figures indicate changes in income and expenditure										
Income figures for schemes within shaded cells indicate where funds are held in interest bearing accounts.										
* Denotes funds the Council is unable to spend currently (totals £572,269.15)										
*24: PT125			£37,425.09	reasonable period' for expenditure without owner's agreement has lapsed						
*32: PT278/46			£5,000.00	is to be held as a returnable security deposit for the highway works (to be later refunded).						
*49: PT278/63			£5,000.00	is to be held as a returnable security deposit for the highway works (to be later refunded).						
*55: H9/194C			£24,675.10	funds have been received to provide Primary Health Care facilities in the borough.						
*57: H11/195B			£3,156.00	funds have been received to provide health care services in the borough.						
*58: H12/197B			£11,440.00	funds have been received to provide Primary Health Care facilities in the borough.						
*62: PT127/87/197			£23,000.00	held as security for the due and proper execution of the works.						
*65: H15/205F			£184,653.23	funds have been received to provide Primary Health Care facilities in the borough.						
*66: PT278/72			£18,000.00	funds received as a security deposit to ensure proper execution of works						
*71: H1/192/31G			£193,305.00	funds have been received to provide Primary Health Care facilities in the borough.						
*72: H12/202/38F			£31,441.99	funds have been received to provide Health Care services in the borough.						
*73: H12/12/37D			£22,455.88	funds have been received to provide Primary Health Care facilities in the borough.						
*74: H22/239E			£7,363.00	funds have been received to provide Health Care services in the borough.						
*76: PT178/236G			£5,000.00	is to be held as a returnable security deposit for the highway works (to be later refunded).						
*81: H12/82/653D			£3,353.86	funds have been received to provide Health Care services in the borough.						
				£572,269.15						

# Plans for North Planning Committee

19th July 2012



HILLINGDON  
LONDON



INVESTOR IN PEOPLE

## **Report of the Head of Planning & Enforcement Services**

**Address** FORMER REINDEER PUBLIC HOUSE MAXWELL ROAD NORTHWOOD

**Development:** Minor Material Amendment to planning permission 18958/APP/2011/873 dated 13/07/2011 seeking amendments to balconies of flats 2 & 6, amendments to the internal layouts of flats 2, 3, 4, 5, 6, 7, 8 & 11; amendments of roof and introduction of roof terraces to flats 11 and 12; provision of front doors for flat 4; increase in depth of bays by 460mm provision of doors to front gardens for flat 5 (south east elevation); and amendments to fenestration on south west elevation. (S73 Application for amendment to approved plans under condition 4).

**LBH Ref Nos:** 18958/APP/2012/1035

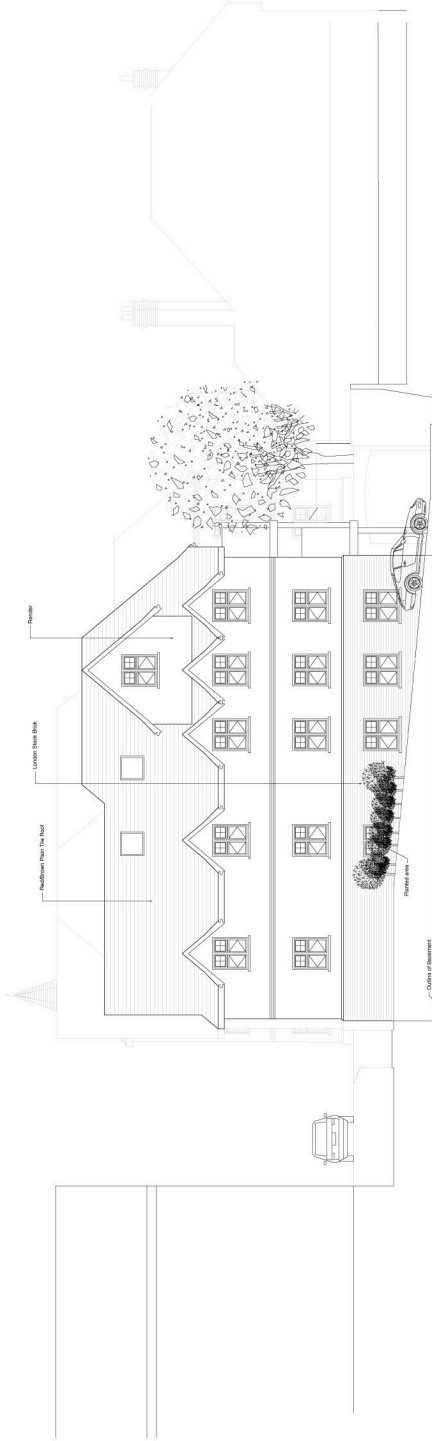
**Date Plans Received:** 27/04/2012

**Date(s) of Amendment(s):**

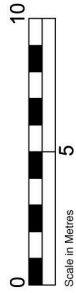
**Date Application Valid:** 27/04/2012



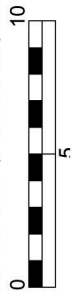
general notes:



NORTH WEST ELEVATION AS PROPOSED



SOUTH EAST (COURTYARD) ELEVATION AS PROPOSED



A	SI	W	BY	EL	rev	revision
---	----	---	----	----	-----	----------

dwg status:

PLANNING

client:



EXCELSIOR PROPERTIES LTD  
 3RD FLOOR SOVEREIGN HOUSE  
 1 ALBERT PLACE  
 FINCHLEY CENTRAL  
 LONDON - N3 1QB

drawn by: BG

project title:

The Reindeer  
 Maxwell Road  
 Northwood

dwg title:





North West Elevation  
 South East Courtyard Elevation

dwg no.:

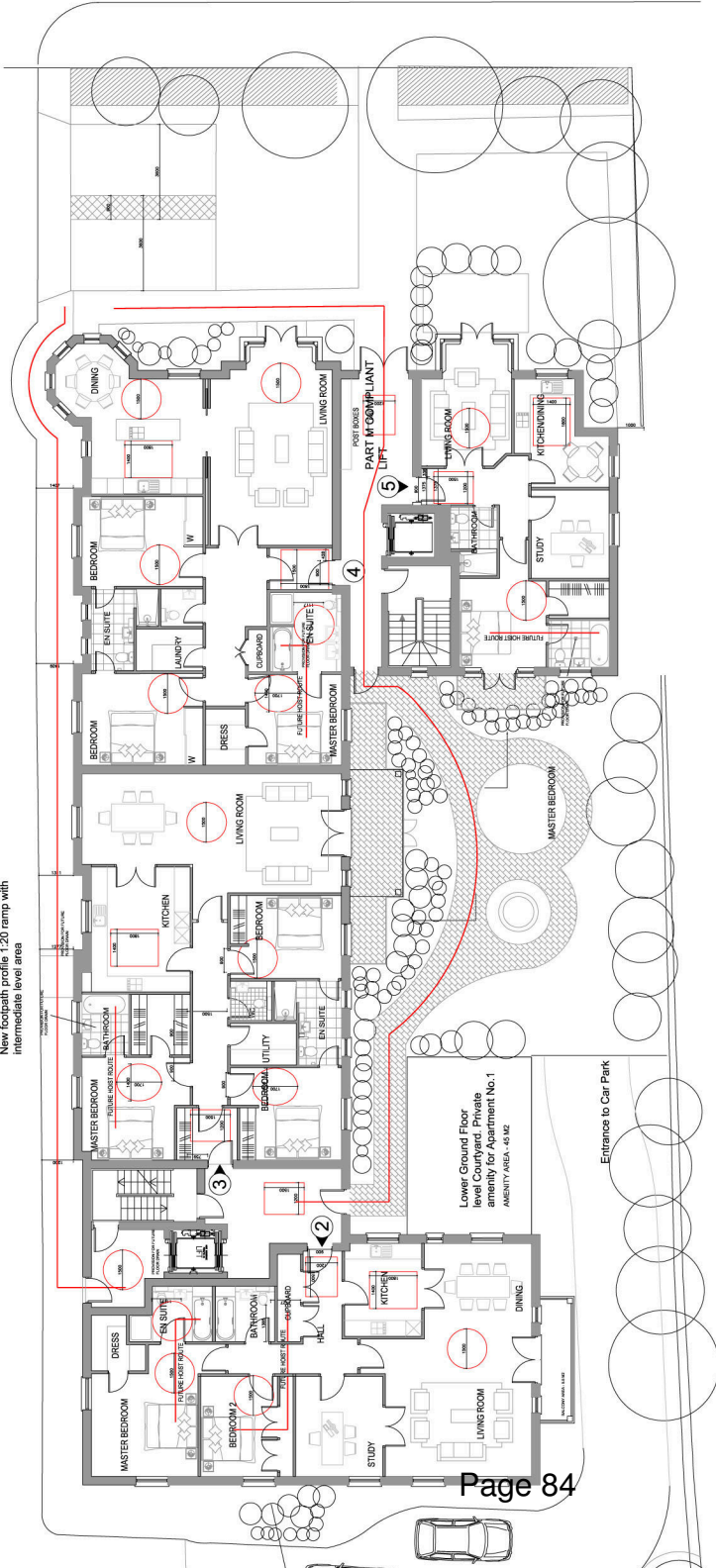
112-09-PL-010

A

general notes:

-  150mm DIAMETER TURNING CIRCLE
-  1400mm X 1700MM TURNING ELLIPSE
-  1200MM X 1500MM TURNING AREA IN ENTRANCES
-  1400mm X 1800MM MANOEUVRING AREA IN KITCHEN

New footpath profile 1:20 ramp with intermediate level area



B BAY TO FLAT 4 REDUCED, FOOTPATH LAYOUT TO FRONT GARDEN, AMENDED JULY12

A MINOR AMENDMENTS TO APPROVED SCHEME INTERNAL LAYOUTS OF FLATS 2,3,4& 5 REVISED BAYS TO FLATS 4 & 5 INCREASED IN DEPTH BY 460MM

rev: revision notes: APR 12  
 by: date:

PLANNING

client:



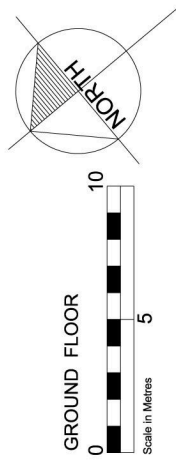
EXCELSIOR PROPERTIES LTD  
 3RD FLOOR SOVEREIGN HOUSE  
 1 ALBERT PLACE  
 FINCHLEY CENTRAL  
 LONDON - N3 1QB

drawn by:	drawn date:	checked/approved:	scale:
BG	06/05/09		1:200 @ A3 1:100 @ A1

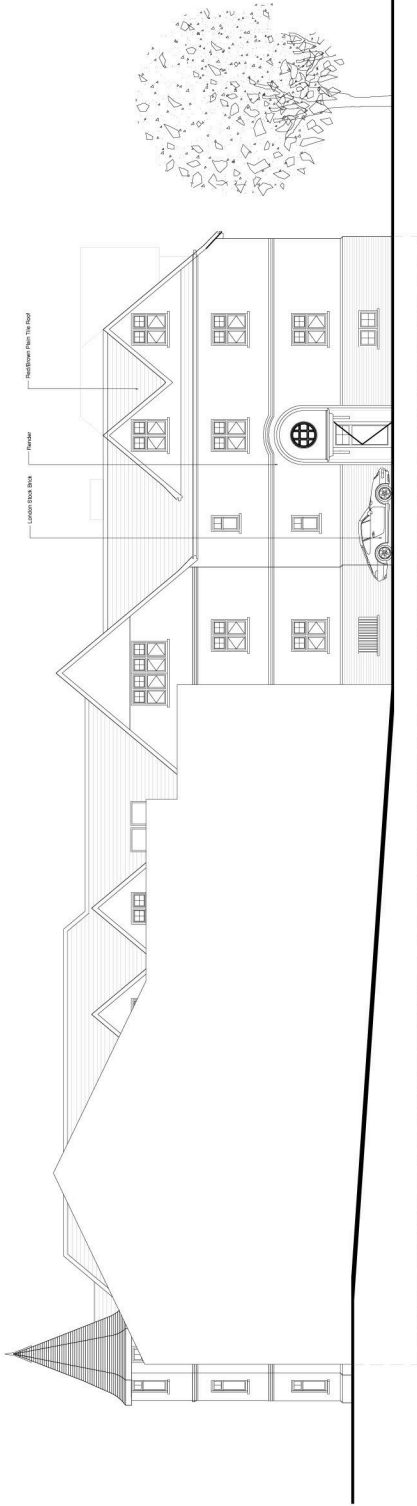
project title:  
**The Reindeer**  
 Maxwell Road  
 Northwood

dwg title:  
**Floor Plan indicating DDA  
 and Lifetime Homes provision**

dwg no:	rev:
<b>6133-PL-017</b>	<b>B</b>



general notes:



NORTH EAST ELEVATION AS PROPOSED WITH CLIVE PARADE INDICATED



A	SI	W	BY	EL	rev	rev

dwg status:

PLANNING

client:



EXCELSIOR PROPERTIES LTD  
 3RD FLOOR SOVEREIGN HOUSE  
 1 ALBERT PLACE  
 FINCHLEY CENTRAL  
 LONDON - N3 1QB

drawn by: BG

project title:

The Reindeer  
 Maxwell Road  
 Northwood

dwg title:

North East Elevation  
 as proposed with the outline  
 of Clive Parade indicated

dwg no.:

112-09-PL-015

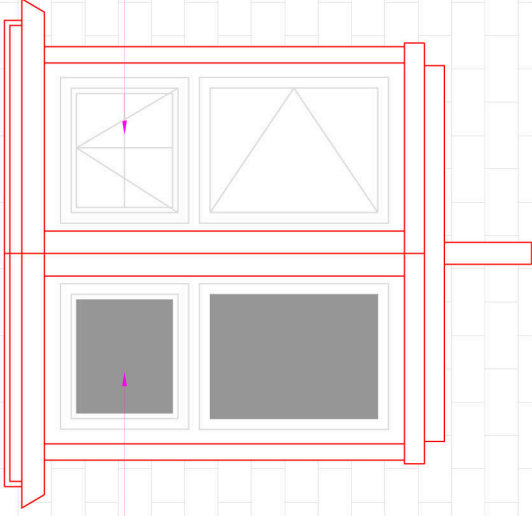
sheet no.:

A

general notes:

Opaque glazing fitted to this side. Window fixed shut on this side

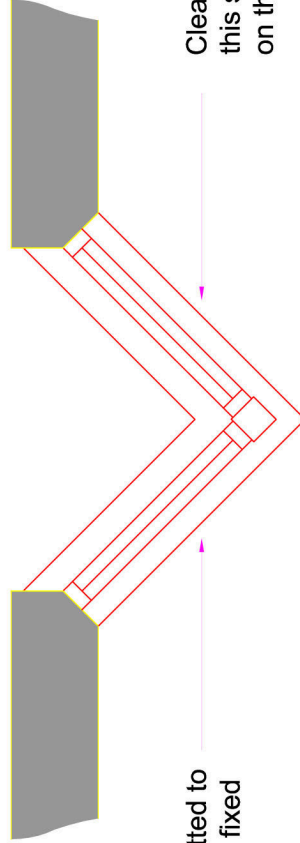
Clear glazing fitted to this side. Window operable on this side



Oriel window Elevation

Opaque glazing fitted to this side. Window fixed shut on this side

Clear glazing fitted to this side. Window operable on this side



Oriel window Plan

0

5

Scale in Metres



rev:	revision notes:	by:	date:
PLANNING			
client:			



EXCELSIOR PROPERTIES LTD  
 3RD FLOOR SOVEREIGN HOUSE  
 1 ALBERT PLACE  
 FINCHLEY CENTRAL  
 LONDON - N3 1QB

drawn by:	drawn date:	checked/approved:	scale:
BIG	APR 12		1:20@A3

project title:

The Reindeer  
 Maxwell Road  
 Northwood

dwg title:	

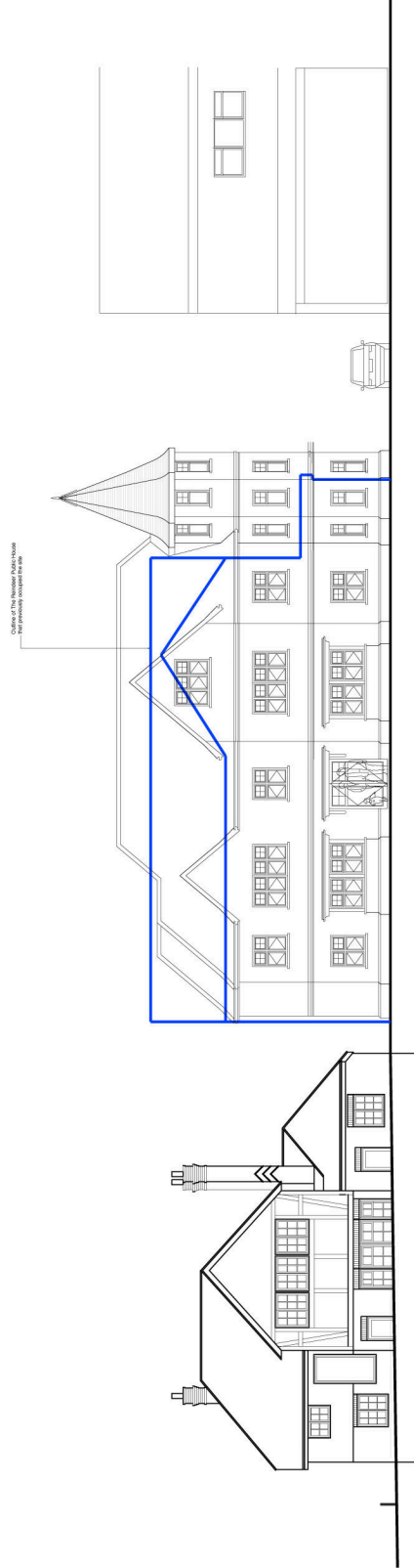
Oriel Window Detail

dwg no:	

6133-PL-014

rev:

general notes:



STREETSCENE INDICATING PROFILE OF FORMER REINDEER PUBLIC HOUSE



A	SI	W	BY	EL
rev.	rev	rev	rev	rev

dwg status:

PLANNING

client:



EXCELSIOR PROPERTIES LTD  
 3RD FLOOR SOVEREIGN HOUSE  
 1 ALBERT PLACE  
 FINCHLEY CENTRAL  
 LONDON - N3 1QB

drawn by: BG

project title:

The Reindeer  
 Maxwell Road  
 Northwood

dwg title:

Street Scene indicating the  
 position of the former Public  
 House-The Reindeer

dwg no.:

112-09-PL-019

A

general notes:



**PLANNING**

client:



EXCELSIOR PROPERTIES LTD  
3RD FLOOR SOVEREIGN HOUSE  
1 ALBERT PLACE  
FINCHLEY CENTRAL  
LONDON - N3 1QB

drawn by: BG  
checked/approved:  
scale: 1:200@A3  
1:100@A1

project title:  
**The Reindeer**  
Maxwell Road  
Northwood

dwg title:  
**Ground Floor Plan**

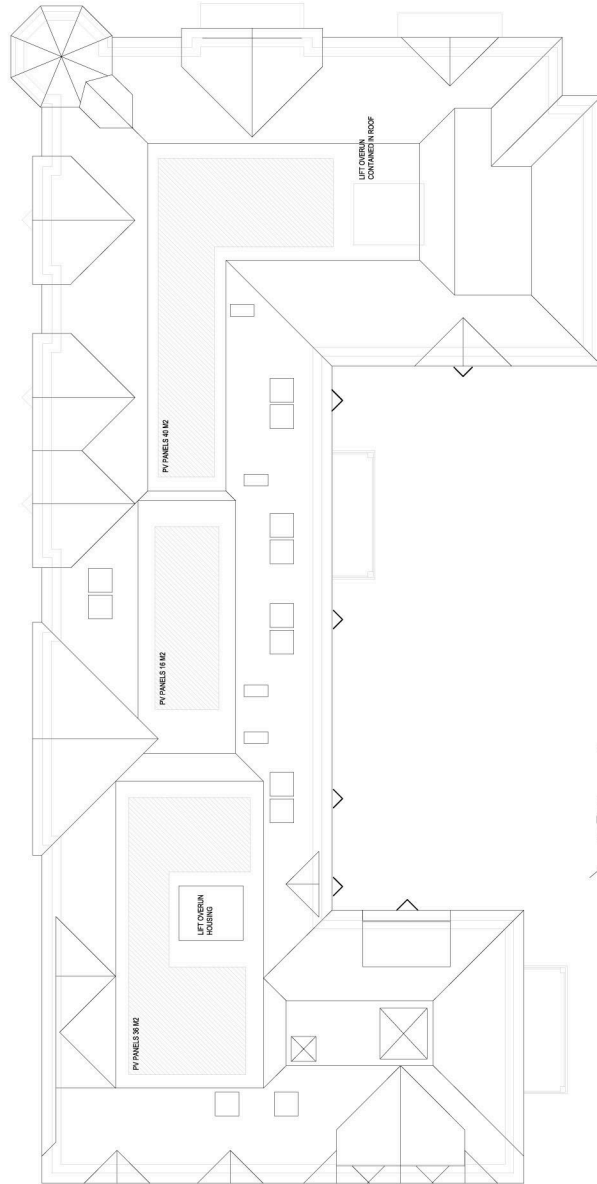
dwg no: **6133-PL-004**  
rev: **B**

**B** DEPTH OF BAY TO FLAT 4 REDUCED  
MINOR ALTERATIONS TO FRONT GARDEN  
LAYOUT  
JUL 12

**A** MINOR AMENDMENTS TO  
APPROVED SCHEME INTERNAL  
LAYOUTS OF FLATS 2,3,4& 5  
REVISED BAYS TO FLATS 4 & 5  
INCREASED IN DEPTH BY  
460MM  
APR 12

rev: by: date:  
dwg status:

general notes:



A SIDE ELEVATION  
WIDTH  
BY 4500  
ELEV/AD

rev. revision 1/1

dwg status:

PLANNING

client:

**excelsior**

EXCELSIOR PROPERTIES LTD  
3RD FLOOR SOVEREIGN HOUSE  
1 ALBERT PLACE  
FINCHLEY CENTRAL  
LONDON - N3 1QB

drawn by:  
BG

project title:

The Reindeer  
Maxwell Road  
Northwood

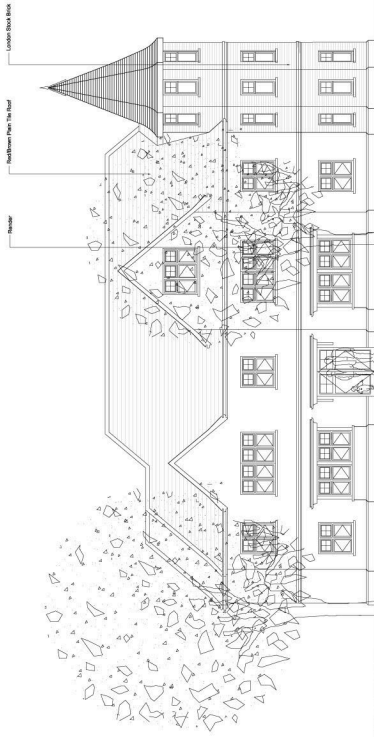
dwg title:

Roof Plan

dwg no:  
112-09-PL-008

A

general notes:



SOUTH EAST ELEVATION AS PROPOSED



NORTH EAST ELEVATION AS PROPOSED



A	SI	W	BY	EL	rev

dwg status:

PLANNING

client:



EXCELSIOR PROPERTIES LTD  
 3RD FLOOR SOVEREIGN HOUSE  
 1 ALBERT PLACE  
 FINCHLEY CENTRAL  
 LONDON - N3 1QB

drawn by: BG  
 BG

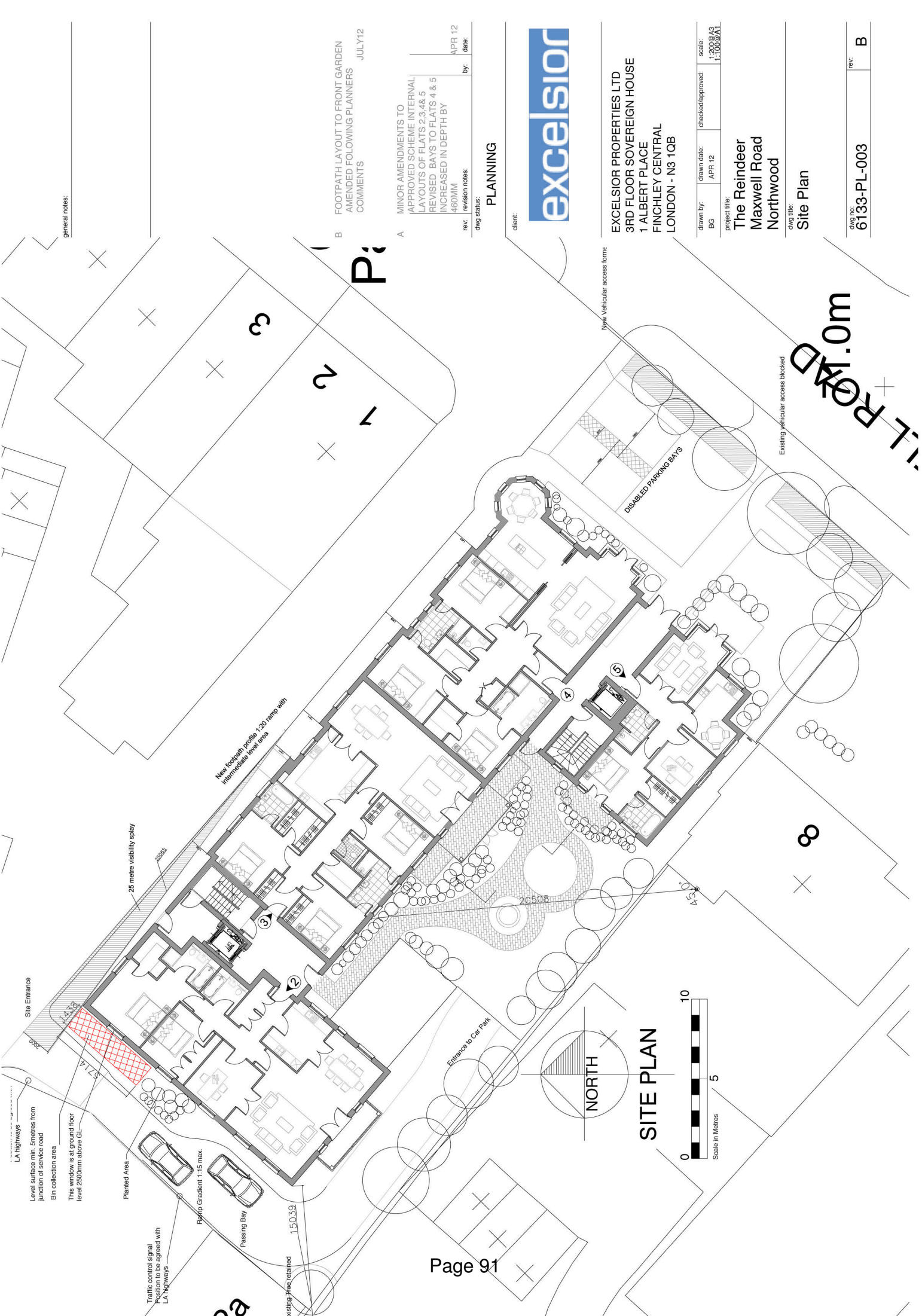
project title:

The Reindeer  
 Maxwell Road  
 Northwood

dwg title:  
 South East ( Maxwell Road)  
 and North East Elevations

dwg no: 112-09-PL-009  
 A





general notes:

- LA highways
- Level surface min. 5metres from junction of service road
- Bin collection area
- This window is at ground floor level 2500mm above GL
- Planned Area
- Traffic control signal Position to be agreed with LA highways
- Backlog Gradient: 1:15 max.
- Passing Bay
- Existing Tree retained

25 metre visibility splay

New footpath profile 1:20 ramp with intermediate level area

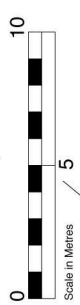
New Vehicular access form

DISABLED PARKING BAYS

Existing vehicular access blocked

NORTH

SITE PLAN



B FOOTPATH LAYOUT TO FRONT GARDEN  
AMENDED FOLLOWING PLANNERS COMMENTS  
JULY12

A MINOR AMENDMENTS TO APPROVED SCHEME INTERNAL LAYOUTS OF FLATS 2,3,4&5 REVISED BAYS TO FLATS 4 & 5 INCREASED IN DEPTH BY 460MM

rev:	revision notes:	by:	date:
			APR 12
dwg status:			

PLANNING

client:



EXCELSIOR PROPERTIES LTD  
3RD FLOOR SOVEREIGN HOUSE  
1 ALBERT PLACE  
FINCHLEY CENTRAL  
LONDON - N3 1QB

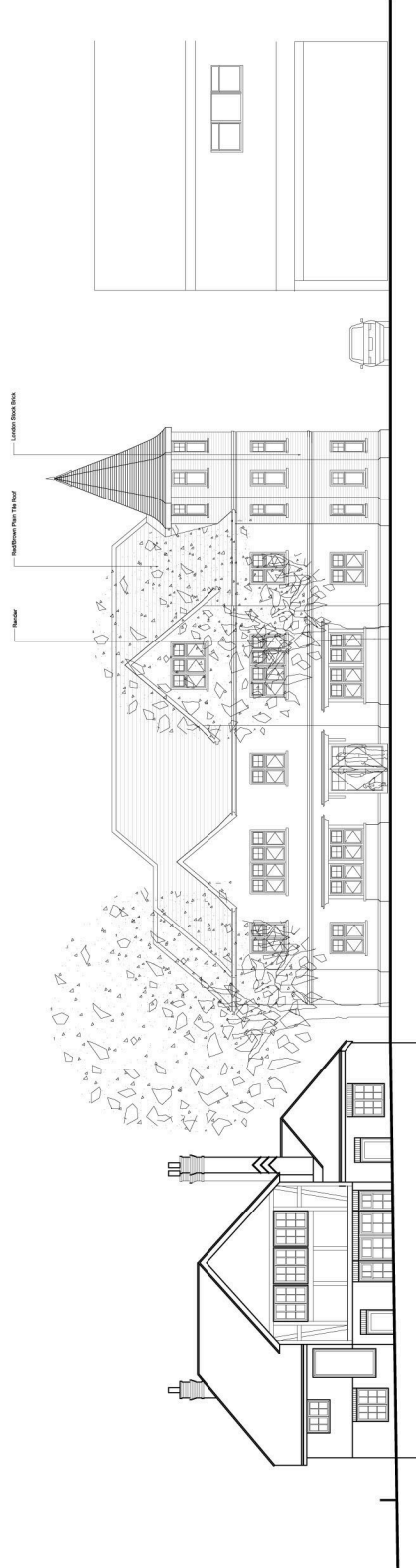
drawn by:	drawn date:	checked/approved:	scale:
BG	APR 12		1:200@A3 1:100@A1

project title:  
The Reindeer  
Maxwell Road  
Northwood

dwg title:  
Site Plan

dwg no:	rev:
6133-PL-003	B

general notes:



STREETSCENE



A	SIC	WID	BY	EL
rev.	rev	rev	rev	rev

dwg status:

PLANNING

client:



EXCELSIOR PROPERTIES LTD  
 3RD FLOOR SOVEREIGN HOUSE  
 1 ALBERT PLACE  
 FINCHLEY CENTRAL  
 LONDON - N3 1QB

drawn by: BG

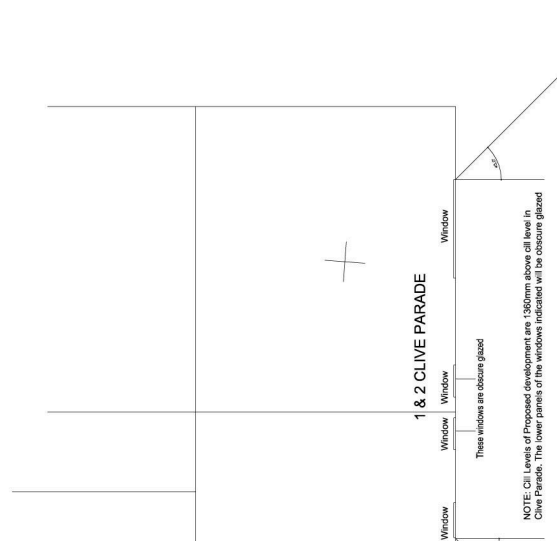
project title:

The Reindeer  
 Maxwell Road  
 Northwood

dwg title:  
 Street Scene

dwg no.: 112-09-PL-018 A

general notes:



A ROOF TERRACES ADDED TO  
FLATS 11 & 12.  
APR 12

rev. revision notes:  
dvg status:  
PLANNING

client:  
excelsior

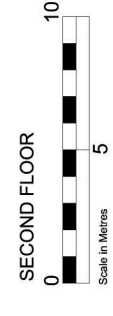
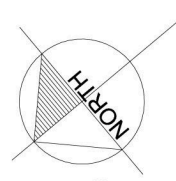


drawn by: BG  
drawn date: APR 12  
checked/approved:  
scale: 1:200@A3  
1:100@A1

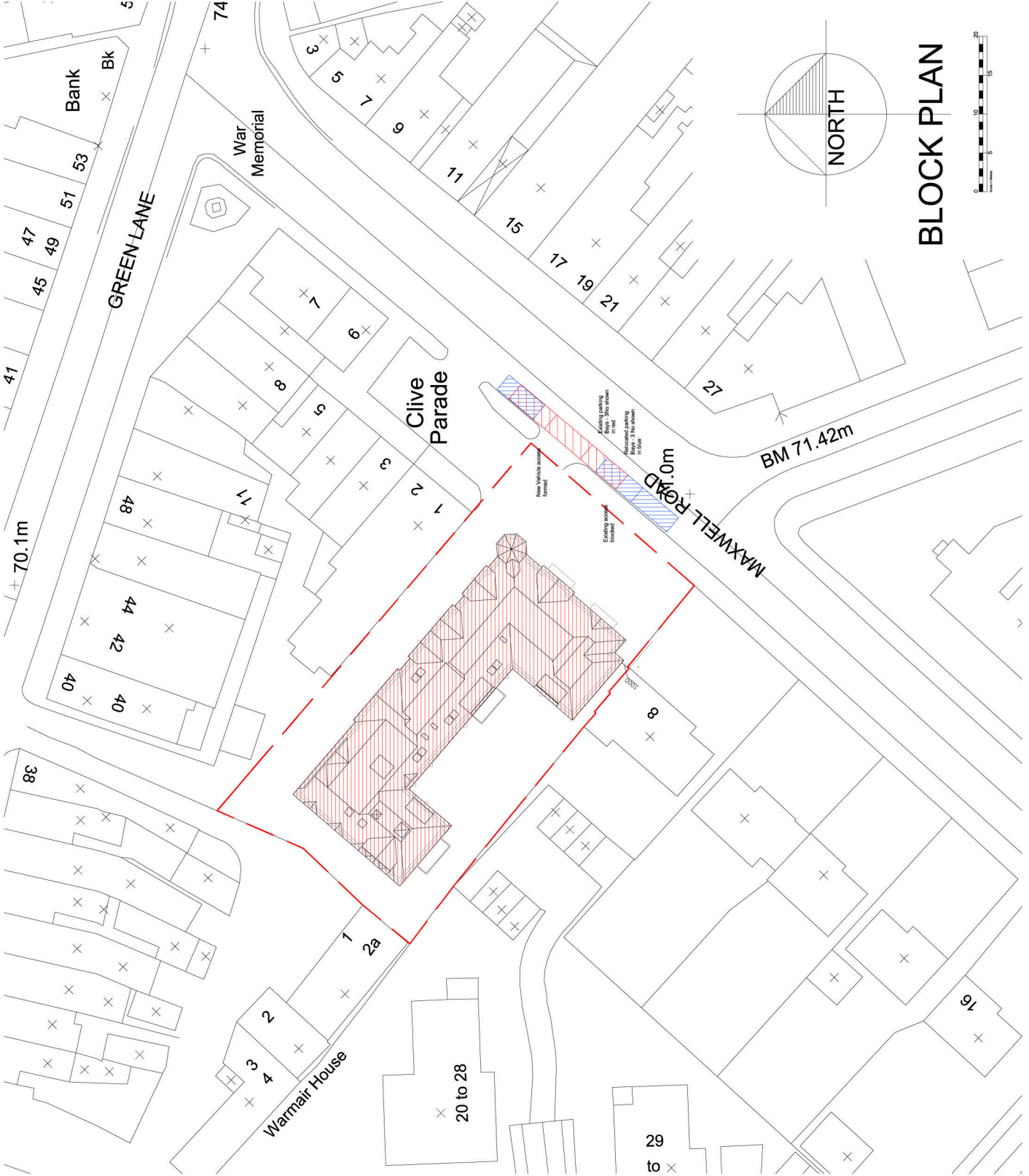
project title:  
The Reindeer  
Maxwell Road  
Northwood

dwg title:  
Second Floor Plan

dwg no: 6133-PL-006  
rev: A



general notes:



rev: revision notes:  
dwg status:

by:

date:

PLANNING

client:



EXCELSIOR PROPERTIES LTD  
 3RD FLOOR SOVEREIGN HOUSE  
 1 ALBERT PLACE  
 FINCHLEY CENTRAL  
 LONDON - N3 1QB

drawn by: BG  
 drawn date: 09-09-09  
 checked/approved:  
 scale: 1:500@A3

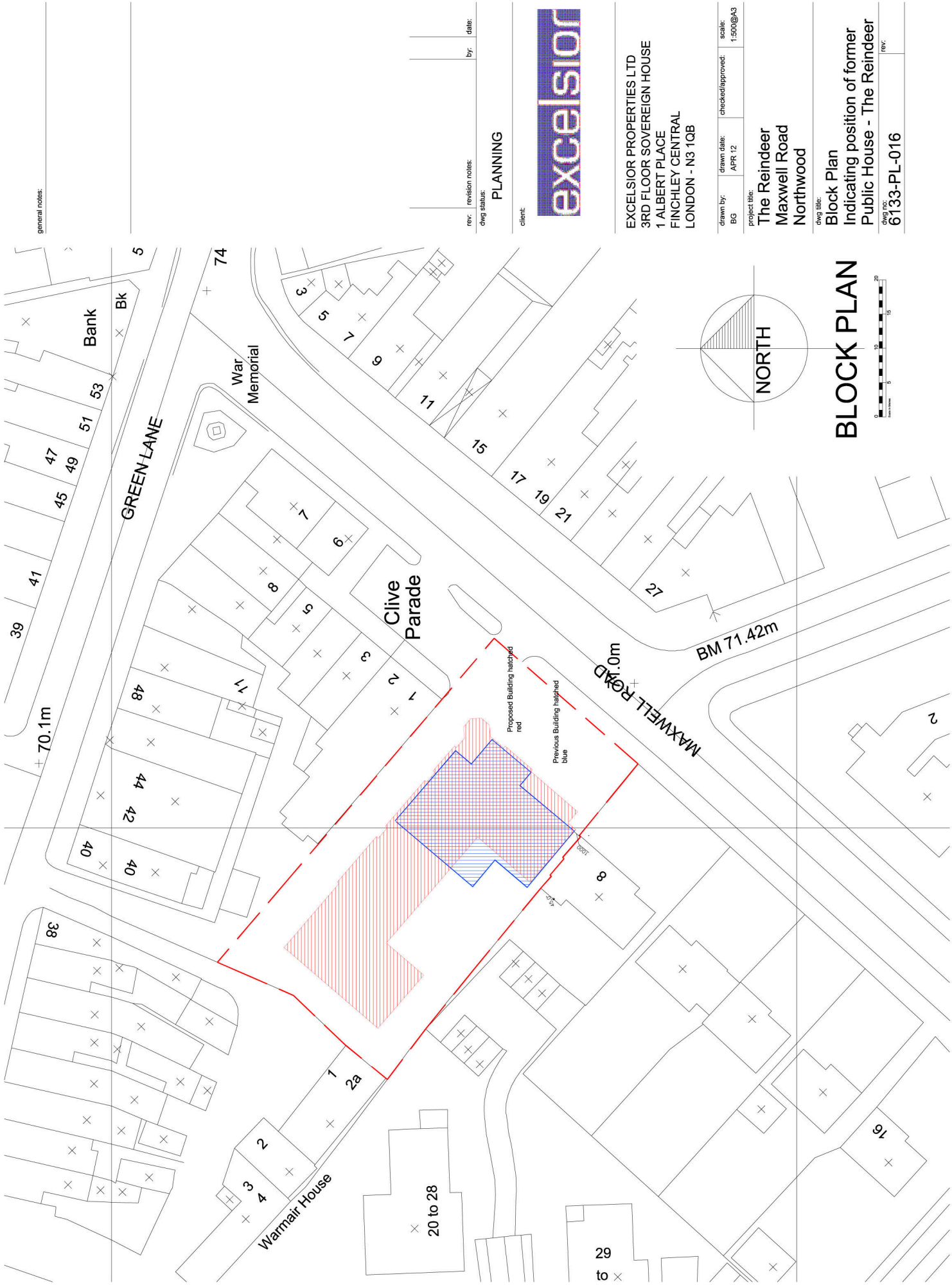
project title:

The Reindeer  
 Maxwell Road  
 Northwood

dwg title:  
 Block Plan

dwg no: 6133-PL-002  
 rev:

# BLOCK PLAN



general notes:

rev. revision notes:  
 dwg status:

by:

date:

PLANNING

client:

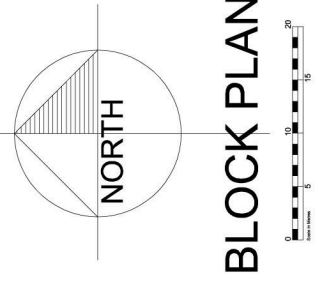


EXCELSIOR PROPERTIES LTD  
 3RD FLOOR SOVEREIGN HOUSE  
 1 ALBERT PLACE  
 FINCHLEY CENTRAL  
 LONDON - N3 1QB

drawn by: BG  
 drawn date: APR 12  
 checked/approved:  
 scale: 1:500@A3

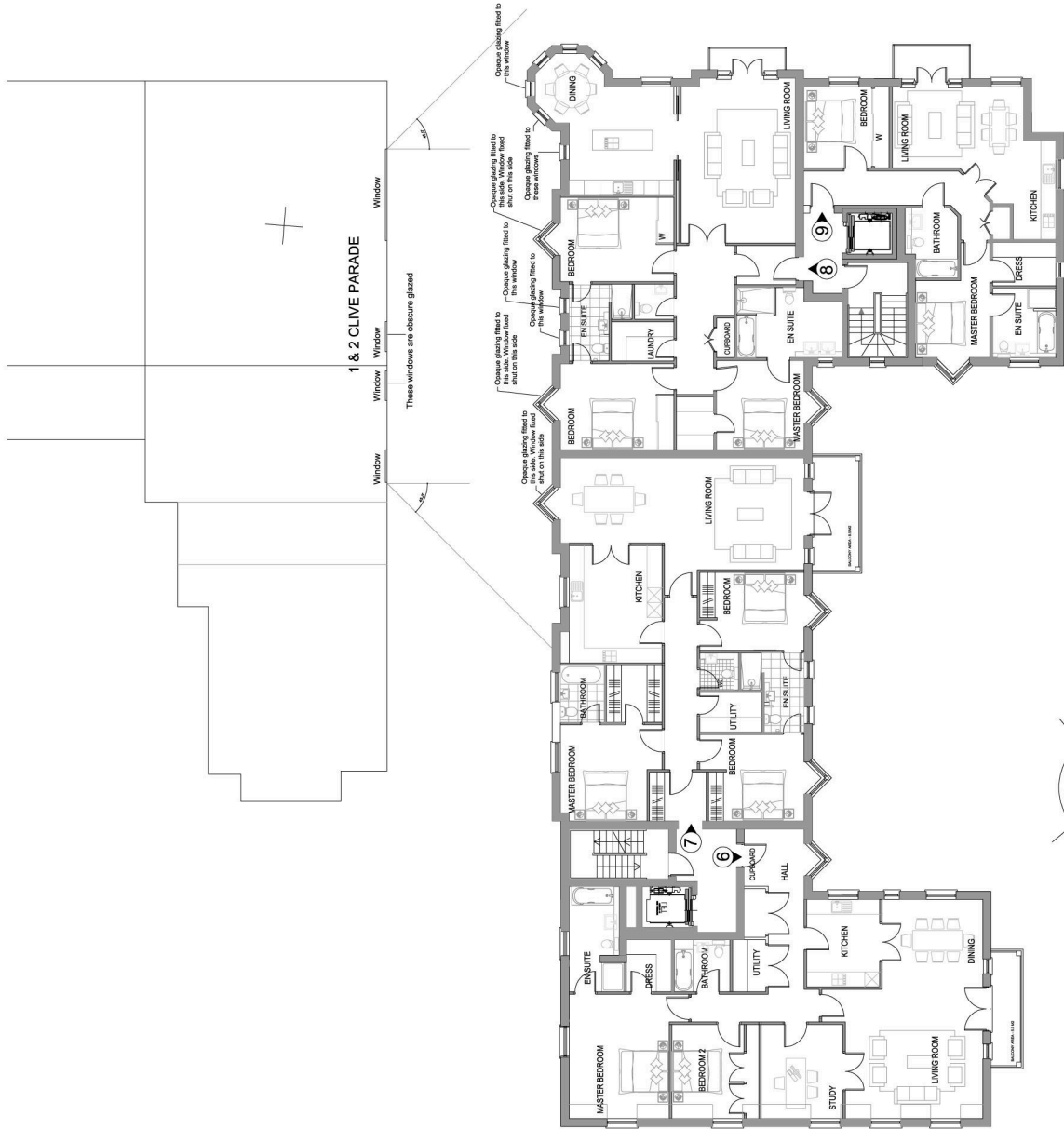
project title:  
 The Reindeer  
 Maxwell Road  
 Northwood

dwg title:  
 Block Plan  
 Indicating position of former  
 Public House - The Reindeer  
 dwg no: 6133-PL-016  
 rev:

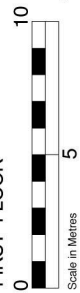


**BLOCK PLAN**

general notes:



FIRST FLOOR



Scale in Metres

B DEPTH OF BAY TO FLAT 4 REDUCED  
MINOR ALTERATIONS TO FRONT GARDEN  
LAYOUT  
JUL 12

A MINOR AMENDMENTS TO  
APPROVED SCHEME INTERNAL  
LAYOUTS OF FLATS 6,7,8& 9  
REVISED.  
APR 12

rev. revision notes: by: date:  
dwg status: PLANNING

client:



EXCELSIOR PROPERTIES LTD  
3RD FLOOR SOVEREIGN HOUSE  
1 ALBERT PLACE  
FINCHLEY CENTRAL  
LONDON - N3 1QB

drawn by:	drawn date:	checked/approved:	scale:
BG	APR 2012		1:200 @ A3 1:100 @ A1

project title:  
**The Reindeer**  
Maxwell Road  
Northwood

dwg title:  
**First Floor Plan**

dwg no:	rev:
<b>6133-PL-005</b>	<b>B</b>

general notes:

DATE	BY	REVISION	DESCRIPTION
08/09/09	BG	1	ISSUE FOR PERMIT
11/08/10	BG	2	ISSUE FOR PERMIT
11/08/10	BG	3	ISSUE FOR PERMIT

rev. revision notes: by: date:

B DISABLED BAYS REMOVED FROM BELOW GROUND CAR PARK MAR 10

A SIDE ENTRANCE INTRODUCED WIDTH OF BUILDING REDUCED BY 450MM ACROSS FRONT ELEVATION DEC 09

PLANNING

client:



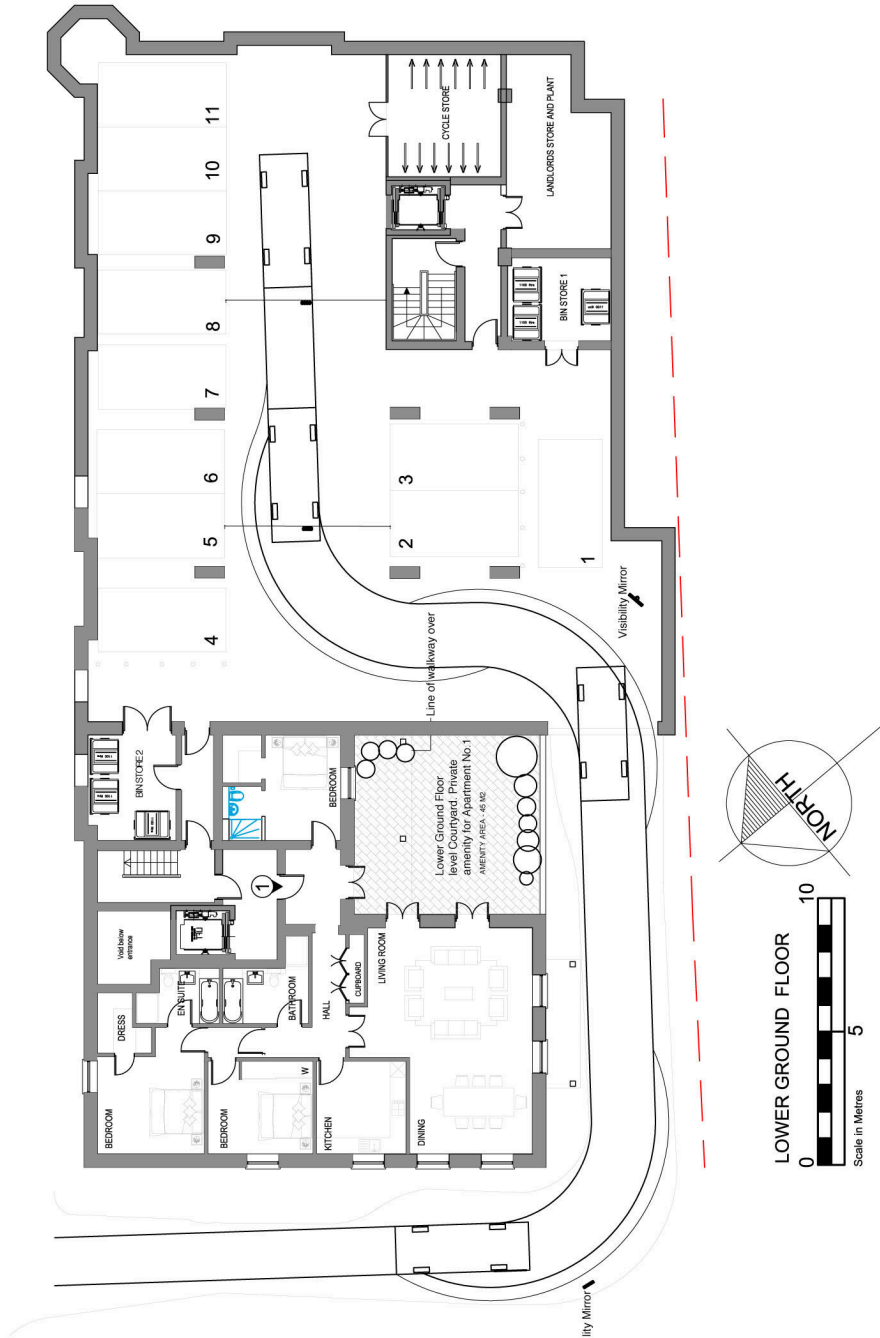
EXCELSIOR PROPERTIES LTD  
3RD FLOOR SOVEREIGN HOUSE  
1 ALBERT PLACE  
FINCHLEY CENTRAL  
LONDON - N3 1QB

drawn by:	drawn date:	checked/approved:	scale:
BG	08/09/09		1:200 @ A3
project title:			1:100 @ A4

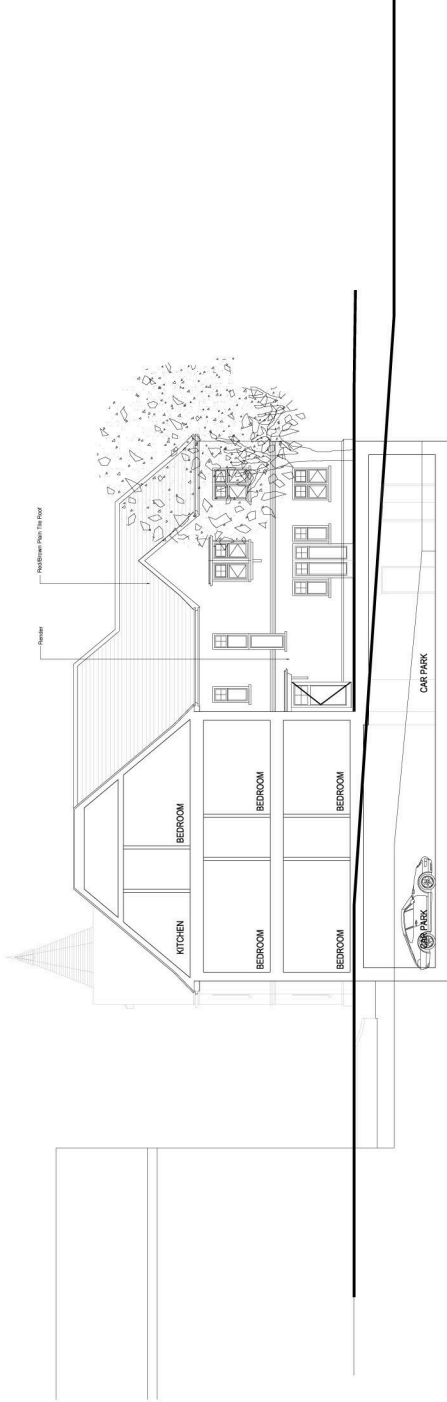
The Reindeer  
Maxwell Road  
Northwood

dwg title:  
Lower Ground Floor

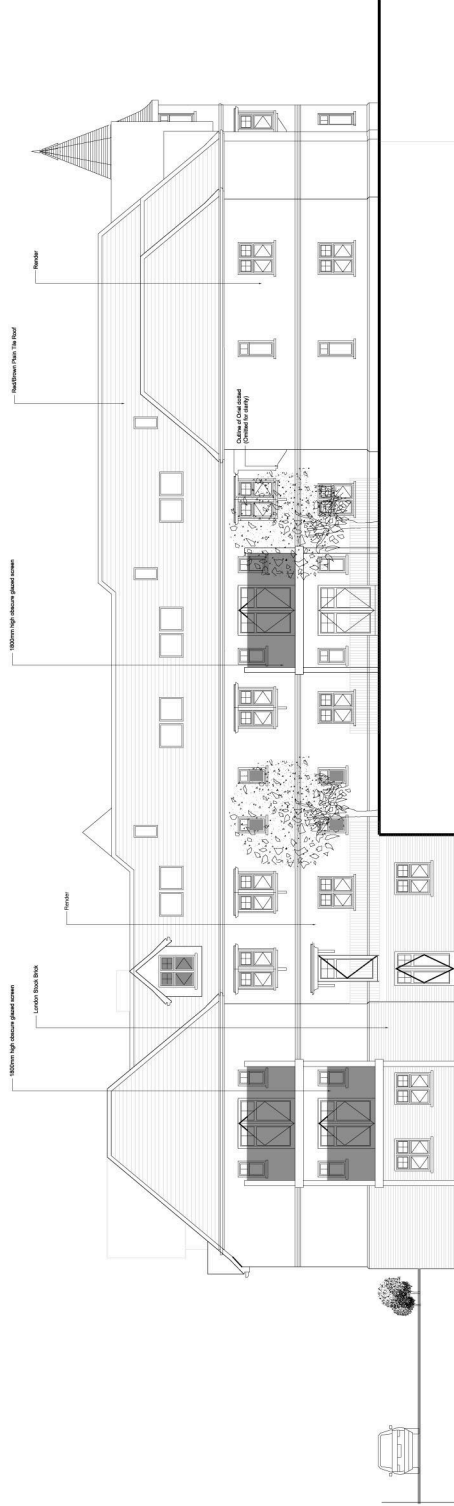
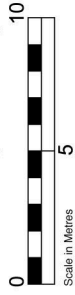
dwg no:	rev:
112-09-PL-007	B



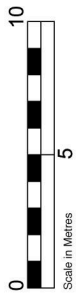
general notes:



NORTH WEST (COURTYARD) ELEVATION AS PROPOSED



SOUTH WEST (COURTYARD) ELEVATION AS PROPOSED



A	SI	W	BY	EL
rev.	rev/			

dwg status:

PLANNING

client:



EXCELSIOR PROPERTIES LTD  
 3RD FLOOR SOVEREIGN HOUSE  
 1 ALBERT PLACE  
 FINCHLEY CENTRAL  
 LONDON - N3 1QB

drawn by: BG  
 checked by:

project title:

The Reindeer  
 Maxwell Road  
 Northwood

dwg title:

North West ( Courtyard)  
 South West (Courtyard)  
 Elevations as proposed

dwg no.:

112-09-PL-011

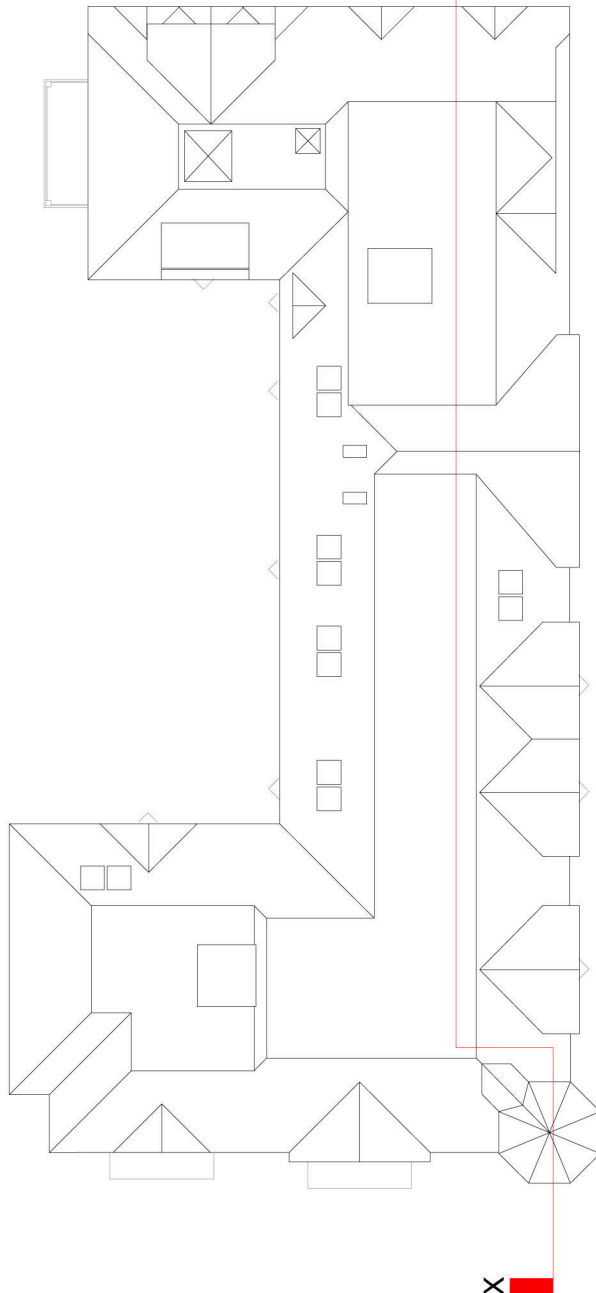
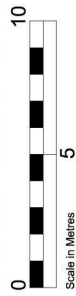
A



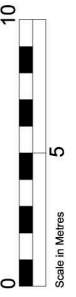
general notes:



LONG SECTION XX AS PROPOSED



LONG SECTION KEY



rev. revision notes: by: date:  
 dwg status:

PLANNING

client:



EXCELSIOR PROPERTIES LTD  
 3RD FLOOR SOVEREIGN HOUSE  
 1 ALBERT PLACE  
 FINCHLEY CENTRAL  
 LONDON - N3 1QB

drawn by: BG  
 drawn date: APR 12  
 checked/approved:  
 scale: 1:200@A3  
 1:100@A1

project title:

The Reindeer  
 Maxwell Road  
 Northwood

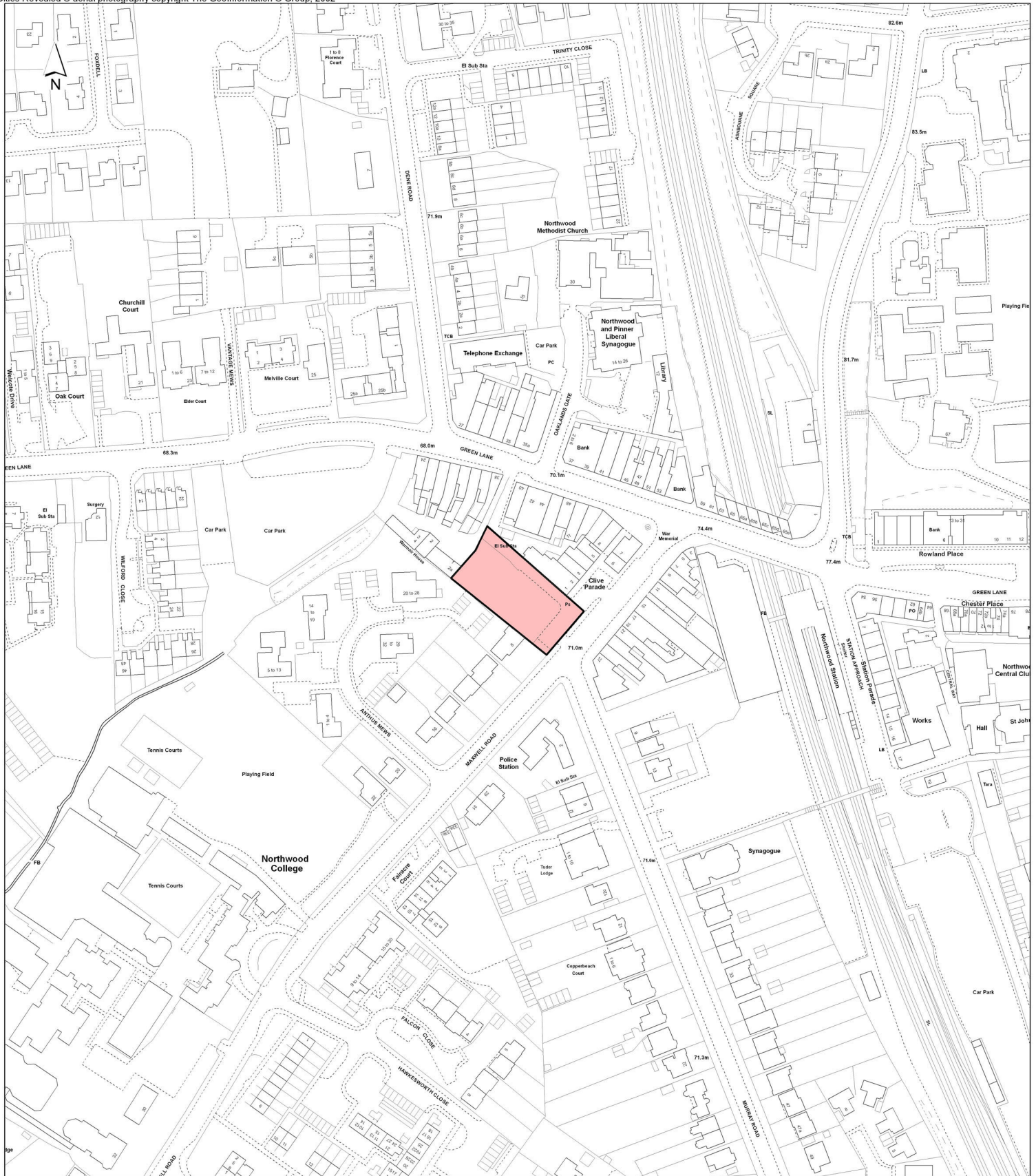
dwg title:

Long Section with Key Plan

dwg no:

6133-- PL-012

rev:



**Notes**

 Site Boundary

For identification purposes only.

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Site Address

**Former Reindeer Public House,  
Maxwell Road,  
Northwood**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:

**18958/APP/2012/1035**

Scale

**1:1,250**

Planning Committee

**North**

Date

**July 2012**

Page 100



**HILLINGDON**  
LONDON

**Report of the Head of Planning & Enforcement Services**

**Address** 81 SHENLEY AVENUE RUISLIP

**Development:** Erection of 2 x three bedroom semi-detached dwellings with associated amenity space, parking and alterations to vehicular access, involving demolition of existing detached bungalow.

**LBH Ref Nos:** 64555/APP/2012/14

<b>Date Plans Received:</b>	06/01/2012	<b>Date(s) of Amendment(s):</b>	06/01/2012
<b>Date Application Valid:</b>	06/01/2012		24/04/2012
			01/05/2012
			05/07/2012

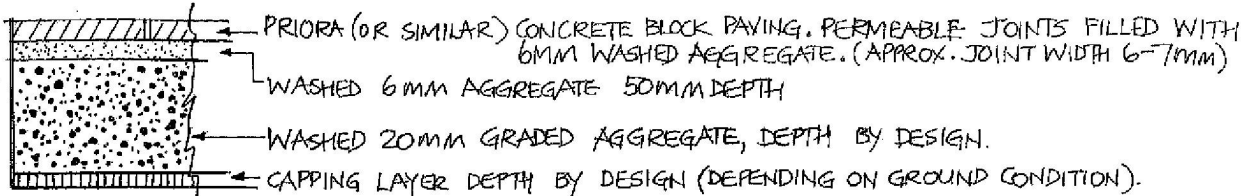
## DRIVES

PERMEABLE BLOCK PAVING. PRIORA (MARSHALLS) TYPE: BRINDLE (OR SIMILAR)

GUIDELINES FOR USE:-

PATIO: 450 x 450 MM

200 x 100 x 180 MM



(NOT TO SCALE) [NB. BUILDING REGULATIONS PART H3: APRIL 2002. PLANNING POLICY GUIDANCE NOTE 25 (PG 25)]

## PLANTING SCHEDULE (SPECIFICATION: NPS = NATIONAL PLANT SPECIFICATION)

### • PROPOSED TREE PLANTING

TREE PIT: 750 x 750 x 900MM DEPTH

a	BETULA PENDULA (SILVER BIRCH)	4-4.5M HEIGHT AT TIME OF PLANTING
b	SORBUS AUCUPARIA (ROWAN)	3-4M HEIGHT AT TIME OF PLANTING
c	BETULA PENDULA (SILVER BIRCH)	3-4M HEIGHT AT TIME OF PLANTING
d	PRUNUS SARGENTII (SARGENT'S CHERRY)	2.5-3M HEIGHT AT TIME OF PLANTING

### • PROPOSED HEDGE PLANT

- e OVAL-LEAFED PRIVET (LIGUSTRUM OVAL FOLIUM). HEIGHT AND SPREAD 1200-1500 POT SIZE: 5 LITRES 12/LIN M
- f BOX (BUXUS SEMPERVIRENS) HEIGHT AND SPREAD 600 PRE-FORMED HEDGE 9/LIN M

### • PROPOSED PLANTING

	No.	POT SIZE/LITRES	SPACING NO/M <sup>2</sup>
g	4	1/M <sup>2</sup>	5L
h	4	1/M <sup>2</sup>	5L
j	5	1/M <sup>2</sup>	5L
k	2	1/M <sup>2</sup>	5L
m	3	1/M <sup>2</sup>	5L
p	3	1/M <sup>2</sup>	5L

### • PROPOSED SEEDING/TURFING

ALL PLANTING AREAS FOR SEEDING/TURFING, 100MM MINIMUM DEPTH, 150MM PREFERRED, OF CLEAN TOP SOIL.

- TOP SOIL: GOOD QUALITY IN ACCORDANCE WITH BS 3882: 1994. GENERAL PURPOSED GRADE OR BETTER. DEPTHS REQUIRED: ALL PLANTING AREAS 400MM. TOP SOILED AREAS TO BE 30MM HIGHER THAN KERBS, FOOTPATHS AND PATIOS. TOP SOIL TO BE EVENLY GRADED AND FREE FROM SUB SOIL CONTAMINATION & DEBRIS.

### PLANTS AND PLANTING:

ALL PLANT MATERIAL TO BE SUPPLIED SHOULD COMPLY WITH REQUIREMENTS SPECIFIED IN BS 3936: 1992. ALL LANDSCAPING WORKS TO BE IN ACCORDANCE WITH BRITISH STANDARDS BS 4428: 1989 CODE OF PRACTISE FOR GENERAL LANDSCAPE OPERATIONS. TO BE PLANTED WITHIN FIRST PLANTING AND SEEDING SEASONS FOLLOWING THE COMPLETION OF THE DEVELOPMENT OR THE OCCUPATION OF THE BUILDING, WHICHEVER IS THE EARLIER PERIOD. THIS POSITION OF SERVICES, PATHS, DRIVES AND SO FORTH, MAY AFFECT AND SLIGHTLY ALTER THE EXACT POSITION OF PLANTING.

PROJECT:  
81 SHENLEY AVENUE,  
RUISLIP, MIDDX HA4 6BT

DRAWING TITLE:  
PROPOSED PLANTING SCHEDULE  
FOR PROPOSED LANDSCAPING  
SCHEME.

ACB ASSOC.

OAK HOUSE, WELLINGTON ROAD,  
SANDHURST, BERKSHIRE GU47 9AY


SCALE:

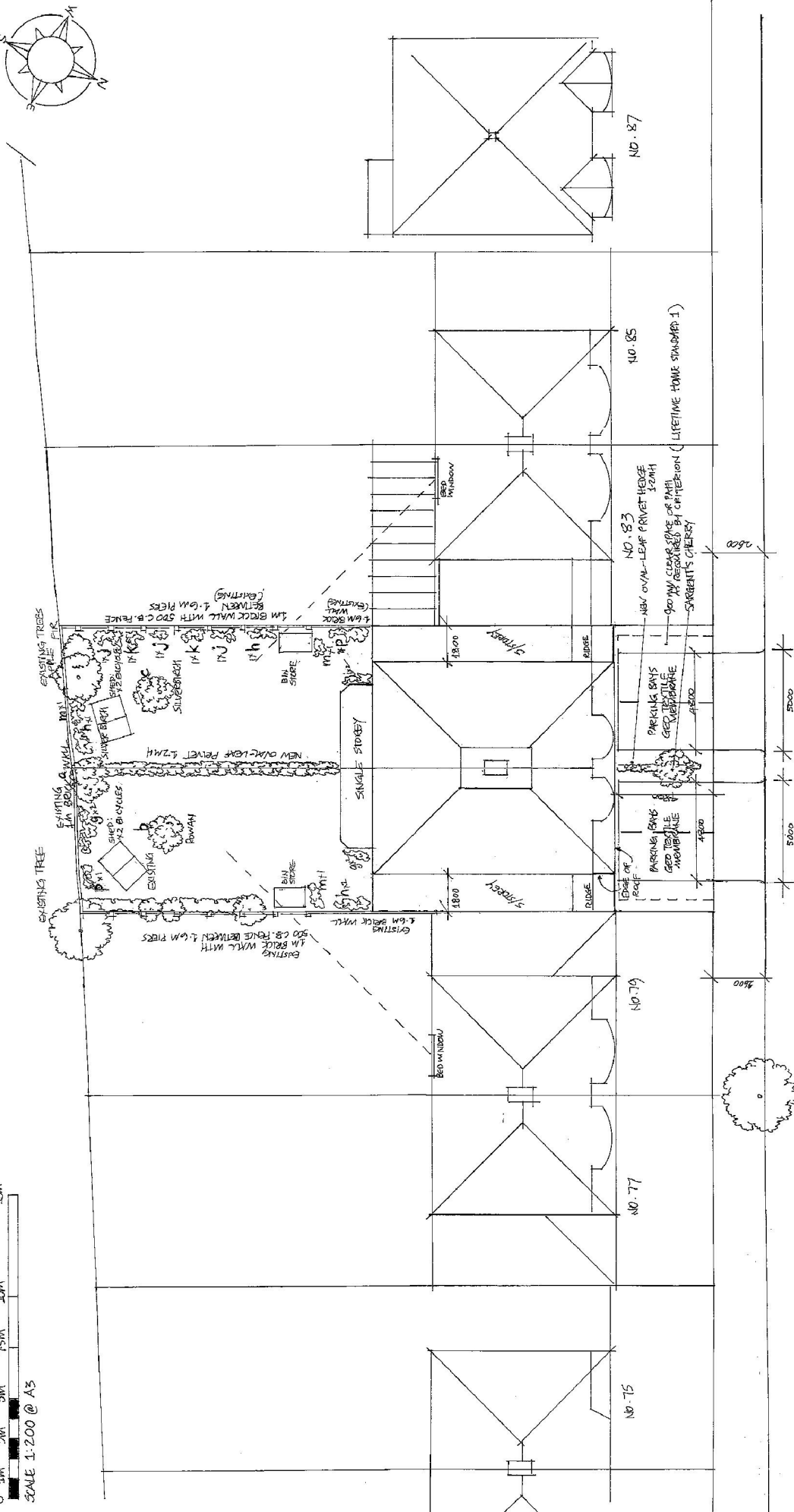
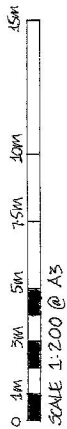
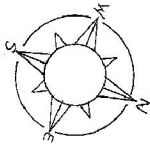
DATE:  
JUNE 2011

DRAWING No:  
81/SAR/08

REV: 102  
Page B

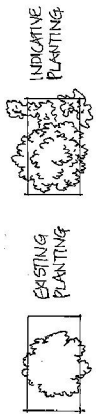


<b>Project:</b> 81 SHENLEY AVENUE RUJISLIP HA4 6BT		<b>Drawing Title:</b> LOCATION PLAN		 445 VICTORIA ROAD RUJISLIP MIDDLESEX HA4 0EG Telephone 020 8842 0144 Fax 020 8845 1100 contact@stanlefamilyhomes.co.uk
<b>Scale:</b> 1:1250		<b>Drawing No:</b> 81 SHEN/JH-007		
<b>Date:</b> 2008				

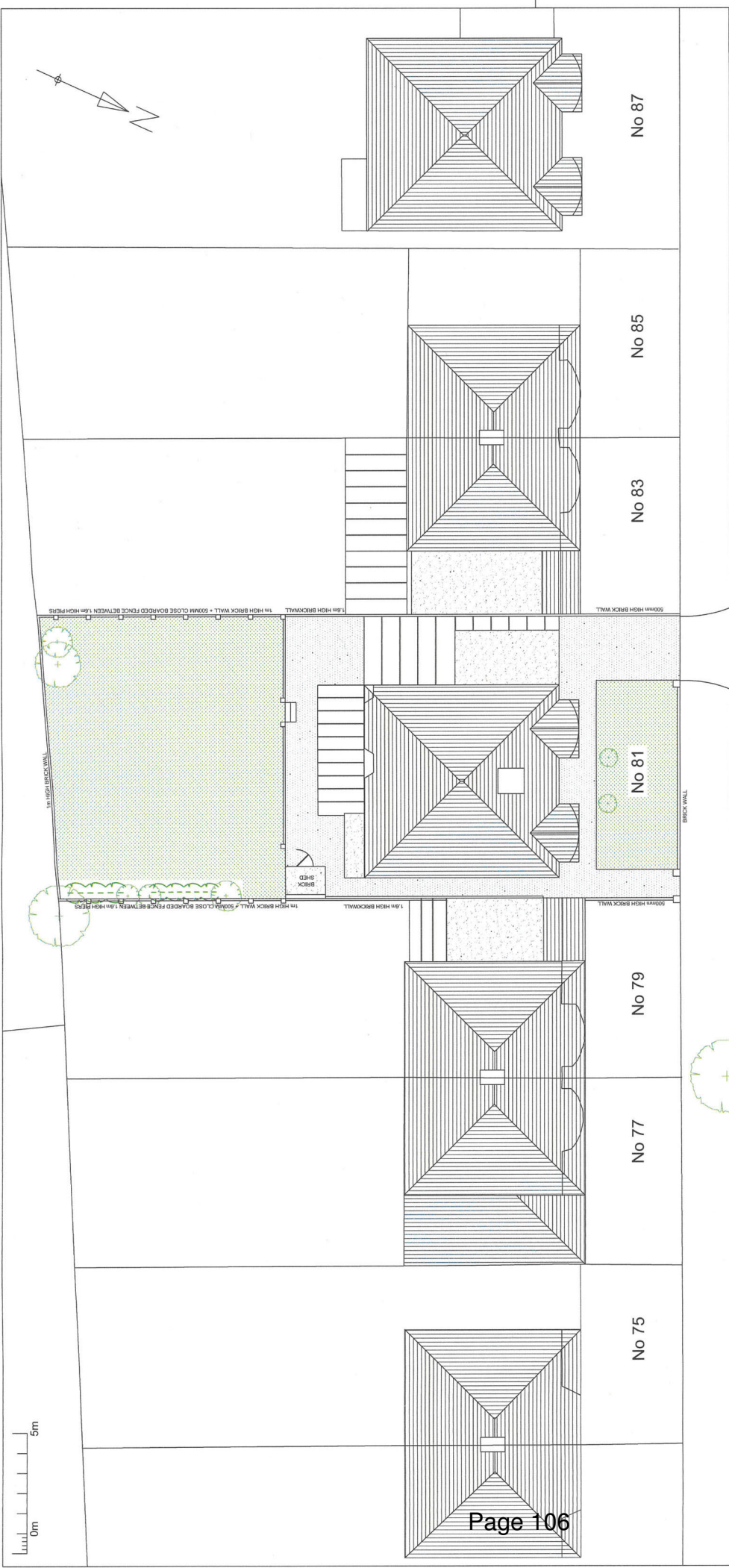
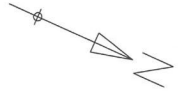


SHENLEY AVENUE


NOTES:	PROJECT:	84 SHENLEY AVENUE RUISLIP, MIDDX HA4 6BT	DRAWING TITLE:	PROPOSED SITE PLAN & INDICATIVE PLANTING	ACB ASSOC OAKHOUSE, KILLINGTON ROAD, SANDHURST, BERKSHIRE GU47 9AY	
	SCALE:	1:200	DATE:	APRIL 2012	DRAWING NO:	84/SAR/01
					REV:	B





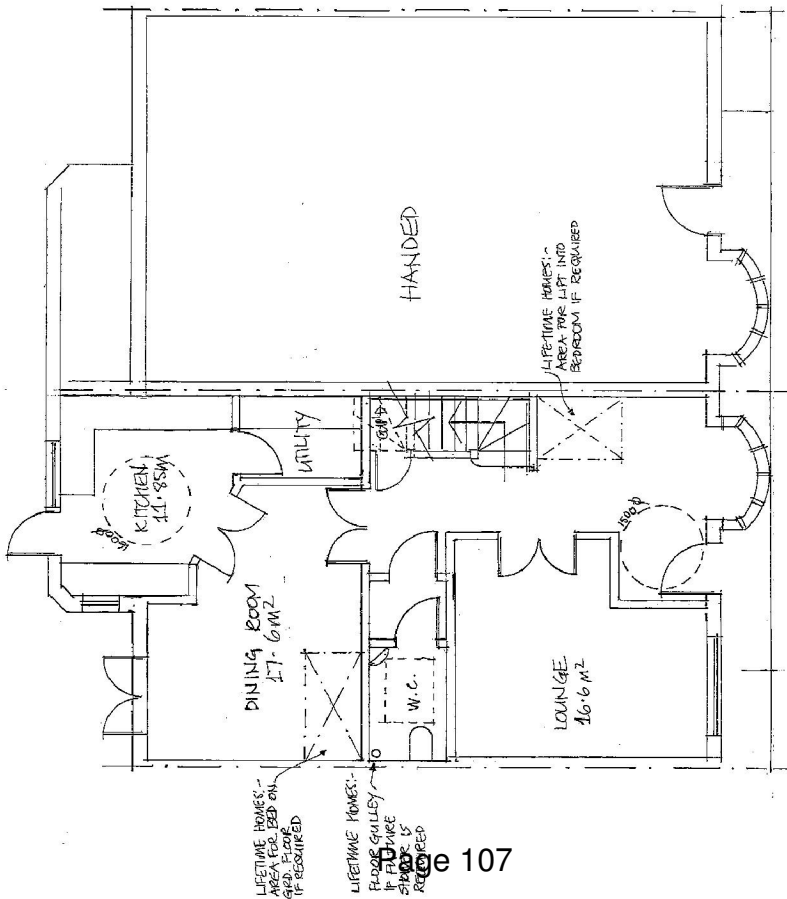


DETAILS OF NEIGHBOURING PROPERTIES TAKEN FROM ORDNANCE SURVEY EXTRACTS & PHOTOS  
ALL DIMENSIONS TO BE CHECKED BY WORKING DRAWINGS

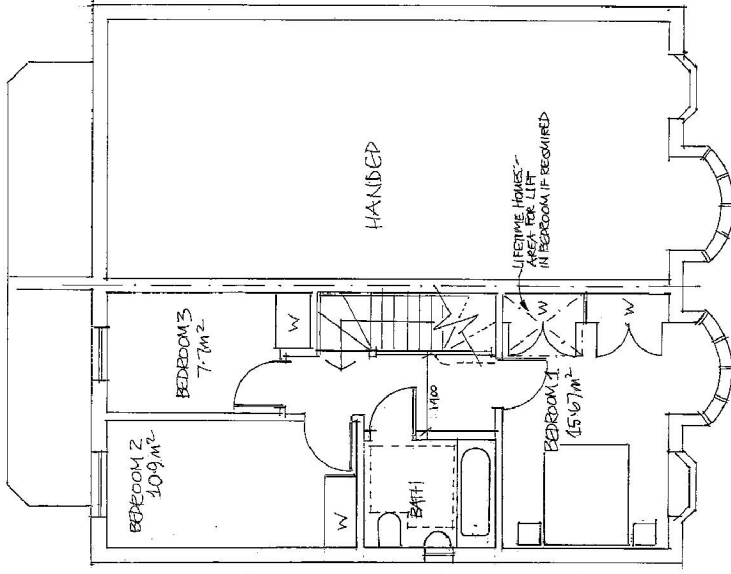
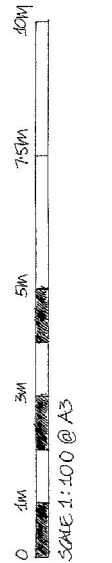
		445 VICTORIA ROAD RUISLIIP MIDDLESEX HA4 0EG Telephone 020 8842 0144 Fax 020 8845 1100 contact@stanifamilyhomes.co.uk	
Project: 81 SHENLEY AVENUE RUISLIIP HA4 6BT	Drawing Title: EXISTING SITE PLAN	Date: 2008	Rev: A
Scale: 1:200	Drawing No: 81 SHEN/JH-006		



REVISION:  
 D. 05/07/12  
 - REPLACING DIVIDING WALLS ON GROUND FLR.  
 - LOUNGE/HALL  
 - DINING ROOM / KITCHEN  
 - KITCHEN/UTILITY



GROUND FLOOR (76.93m<sup>2</sup> / 827.84ft<sup>2</sup>)

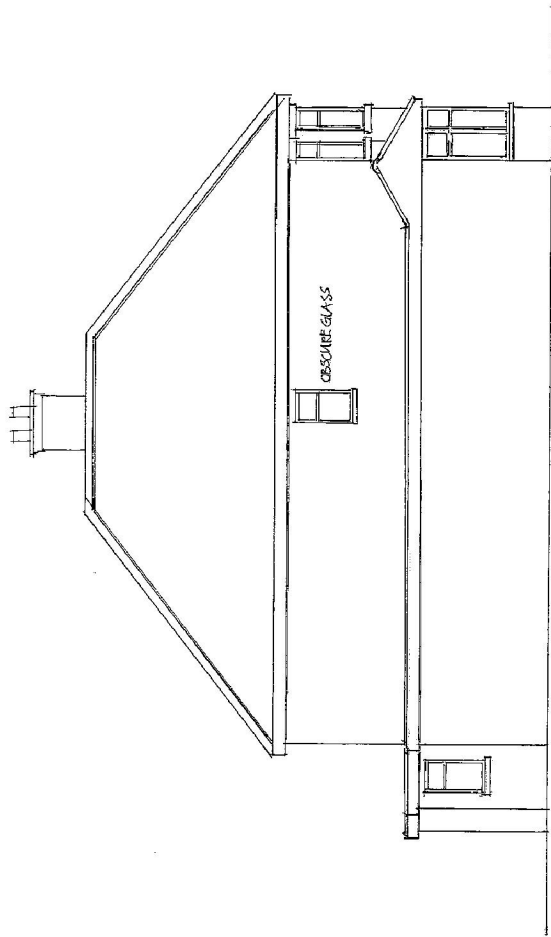


FIRST FLOOR (50.82m<sup>2</sup> / 546.42ft<sup>2</sup>)

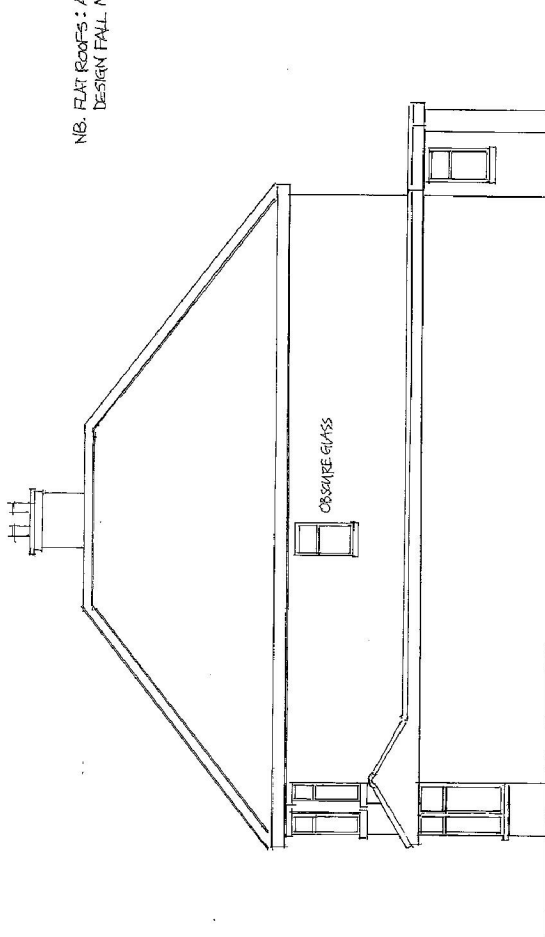
TOTAL FLOOR AREA:  
 127.75m<sup>2</sup> / 1374.6ft<sup>2</sup>

DRAWING TITLE: PROPOSED FLOOR PLANS	
PROJECT: 81 SHENLEY AVENUE RAISLIP MIDDX HA4 6BT	DRAWING NO: 81/SAP/04
SCALE: 1:100	DATE: APRIL 2012
	REV: D

ACB ASSOC.  
 OAK HOUSE, WELLINGTON ROAD,  
 SANDHURST, BERKSHIRE GU47 9AY  
 MOBILE: 07740 304 249



SIDE ELEVATION (NORTH-EAST)



SIDE ELEVATION (SOUTH-WEST)

NB. FLAT ROOFS: A MINIMUM FALL OF 1:80  
DESIGN FALL MINIMUM 2:50 IS DESIRABLE



PROJECT:  
81 SHENLEY AVENUE,  
RUISLIP, MIDDX HA7 6BT

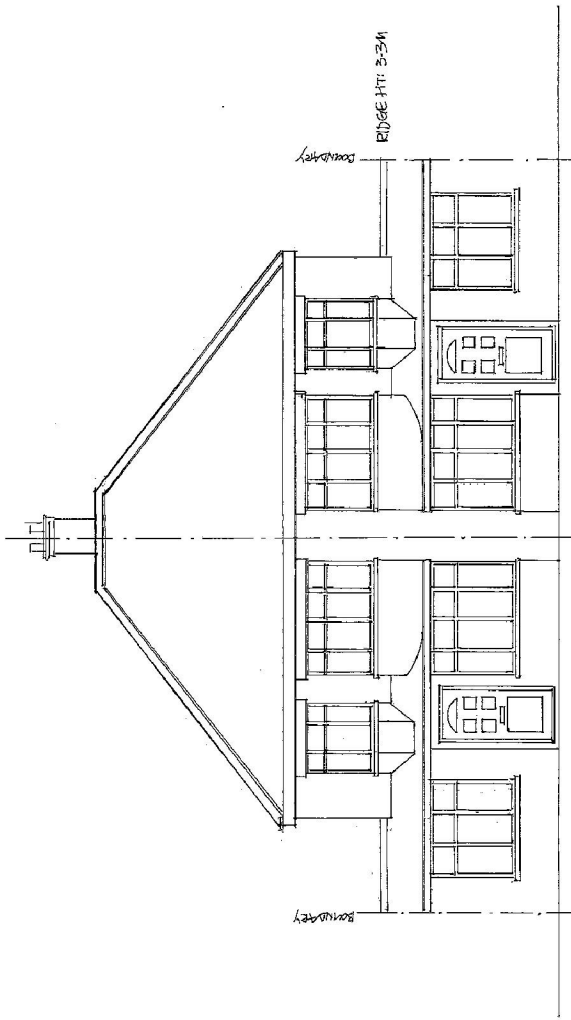
DRAWING TITLE:  
PROPOSED  
SIDE ELEVATIONS

SCALE: 1:100  
DATE: APRIL 2012

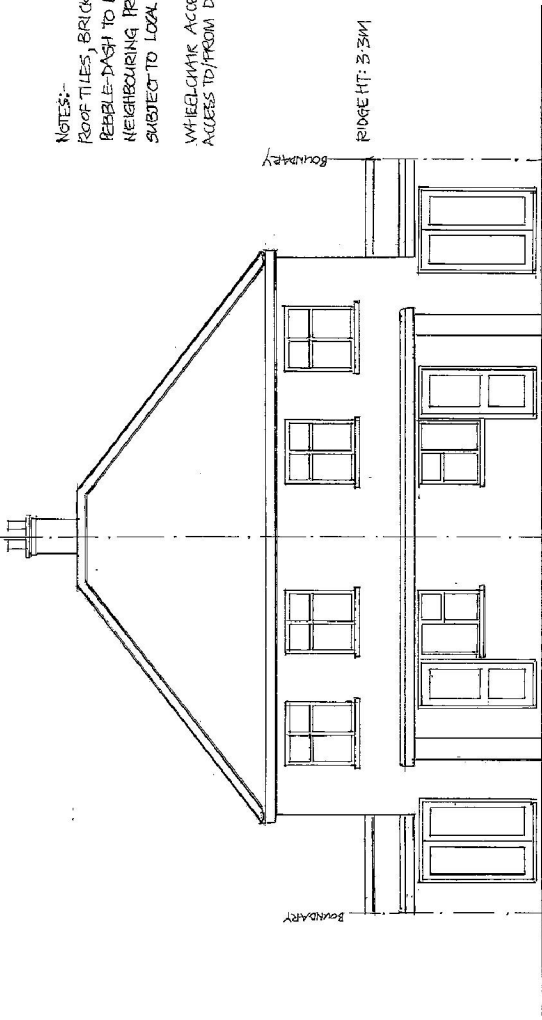
DRAWING NO:  
84/SAR/05

REV: C

ACB ASSOC  
OAK HOUSE 30A WELLINGTON ROAD  
SANDHURST BERKSHIRE GU47 9AY

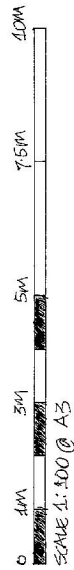


FRONT ELEVATION (NORTH-WEST)



REAR ELEVATION (SOUTH-EAST)

NOTES:-  
 ROOF TILES, BRICKWORK, WINDOW FRAMES AND  
 REBBLE-DASH TO BE SIMILAR/COMPARABLE TO  
 NEIGHBOURING PROPERTIES (E.G. NOS. 75, 77, 79 AND 80 ON).  
 SUBJECT TO LOCAL AUTHORITY'S CONDITIONS AND APPROVAL,  
 WHEELCHAIR ACCESS - ENTRANCES  
 ACCESS TO/FROM DWELLING NOT STEEPER THAN 1:20



PROJECT:  
 81 SHENLEY AVENUE,  
 RUISLIP, MIDDYX HA4 6BT

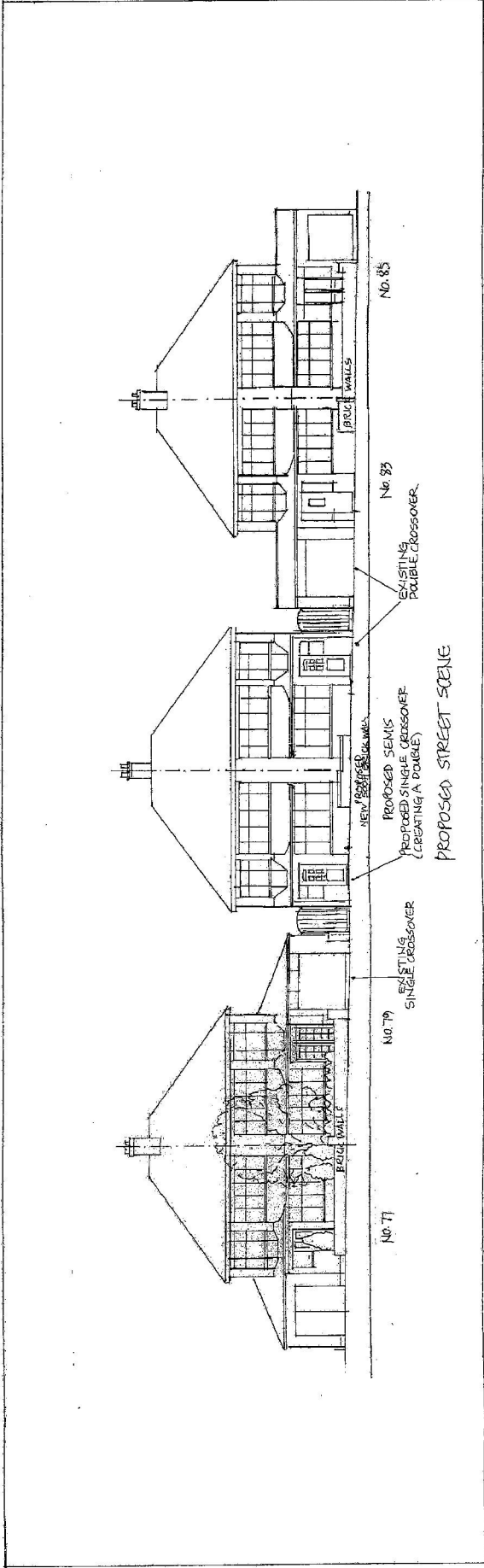
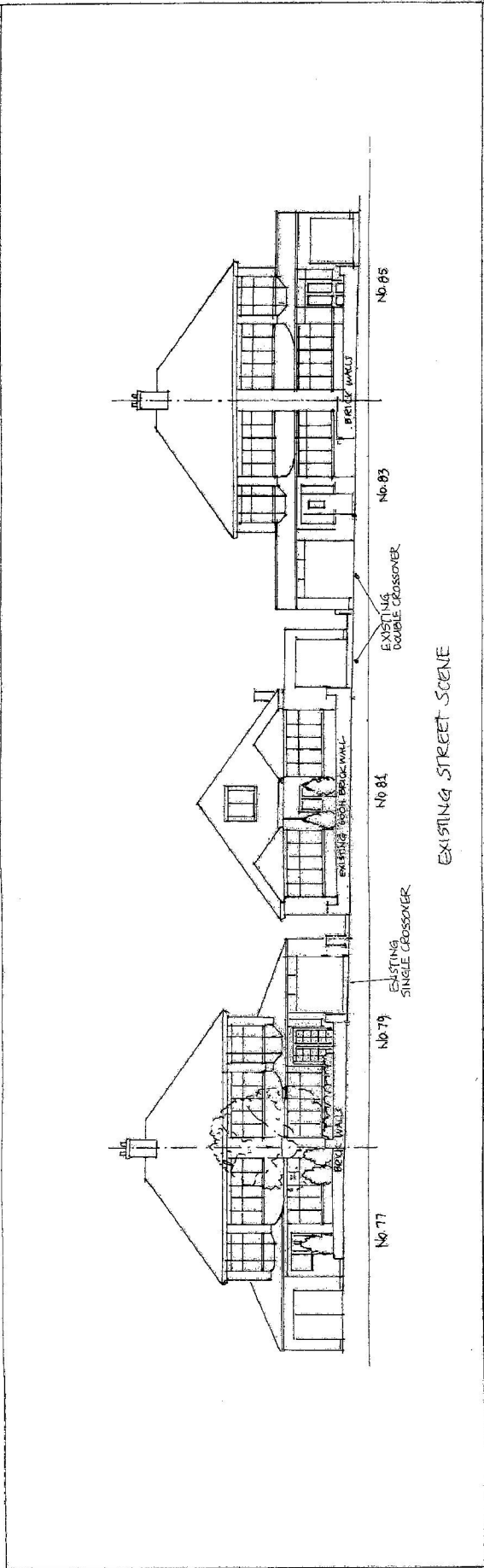
SCALE: 1: 500  
 DATE: APRIL 2012

DRAWING TITLE:  
 PROPOSED ELEVATIONS  
 FRONT AND REAR

DRAWING NO:  
 81/SAR/02

REV:  
 C

ACB ASSOC  
 OAK HOUSE 30A WELLINGTON ROAD  
 SANDHURST BERKSHIRE GUM7 9AY

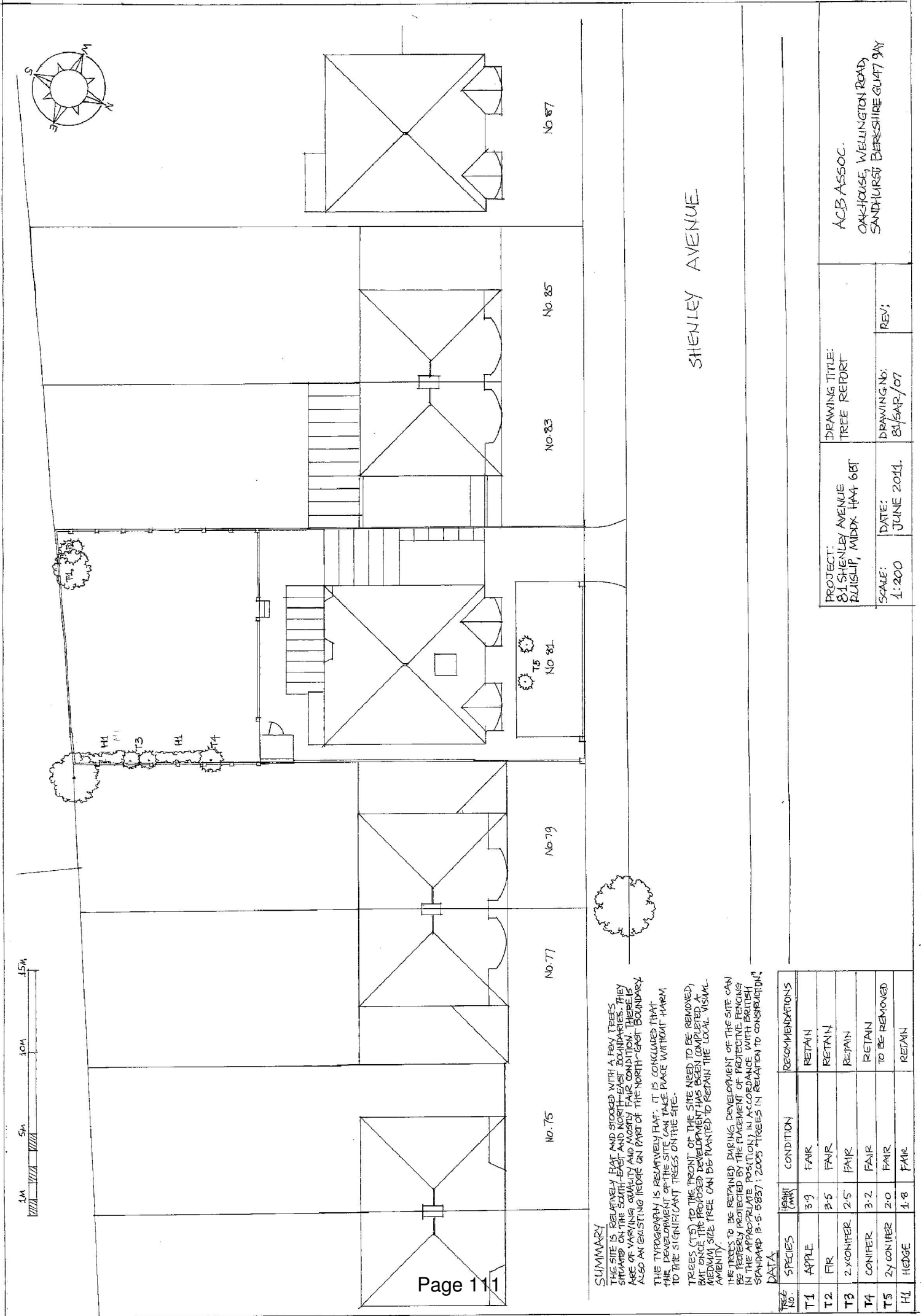
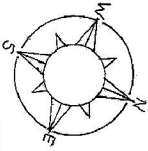


ACB ASSOC.  
 OAK HOUSE, WELLINGTON ROAD  
 SANDHURST, BERKSHIRE GHAFT 94Y  
 MOBILE: 07740 304 249

PROJECT: 84 SHELDON AVENUE, RUISLIP, MIDDX HA4 6BT	DRAWING TITLE: EXISTING & PROPOSED STREET SCENES (VERSION I)
SCALE: 1:200	DRAWING NO: 81/SAR/05A
DATE: JUNE 2011	REV:

NOTES:

1" = 10'  
 1/4" = 3"



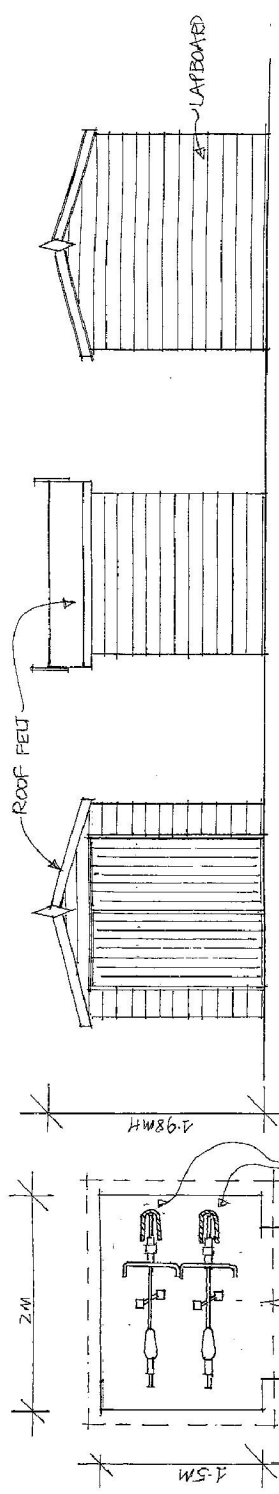
SHENLEY AVENUE

**SUMMARY**  
 THE SITE IS RELATIVELY FLAT AND STORCED WITH A FEW TREES STRONG ON THE SOUTH-EAST AND NORTH-EAST BOUNDARIES. THEY ARE OF VARYING QUALITY AND MOSTLY FAIR CONDITION. THERE IS ALSO AN EXISTING HEDGE ON PART OF THE NORTH-EAST BOUNDARY. THE TYPOGRAPHY IS RELATIVELY FLAT. IT IS CONCLUDED THAT THE DEVELOPMENT OF THE SITE CAN TAKE PLACE WITHOUT HARM TO THE SIGNIFICANT TREES ON THE SITE.  
 TREES (T5) TO THE FRONT OF THE SITE NEED TO BE REMOVED, BUT ONCE THE PROPOSED DEVELOPMENT HAS BEEN COMPLETED A MEDIUM SIZE TREE CAN BE PLANTED TO RETAIN THE LOCAL VISUAL AMENITY.  
 THE TREES TO BE RETAINED DURING DEVELOPMENT OF THE SITE CAN BE PROTECTED BY THE FURNISHING OF PROTECTIVE FENCING IN THE APPROPRIATE POSITIONS IN ACCORDANCE WITH BRUSH SPANNARD B-S-5887: 2005 'TREES IN RELATION TO CONSTRUCTION'.  
**DATA**

TREE No.	SPECIES	HEIGHT (M)	CONDITION	RECOMMENDATIONS
T1	APPLE	3.9	FAIR	RETAIN
T2	FIR	3.5	FAIR	RETAIN
T3	2x CONIFER	2.5	FAIR	RETAIN
T4	CONIFER	3.2	FAIR	RETAIN
T5	2x CONIFER	2.0	FAIR	TO BE REMOVED
H1	HEDGE	1.8	FAIR	RETAIN

PROJECT: 8.1 SHENLEY AVENUE RUISLIP, MIDDX HA4 6BT	DRAWING TITLE: TREE REPORT	ACB ASSOC. OAKHOUSE, WELLINGTON ROAD, SANDHURST BERKSHIRE GU17 9AY
SCALE: 1:200	DATE: JUNE 2014	DRAWING NO: 81/SAR/07
		REV:

GARDEN SHEDS FOR TWO BICYCLES



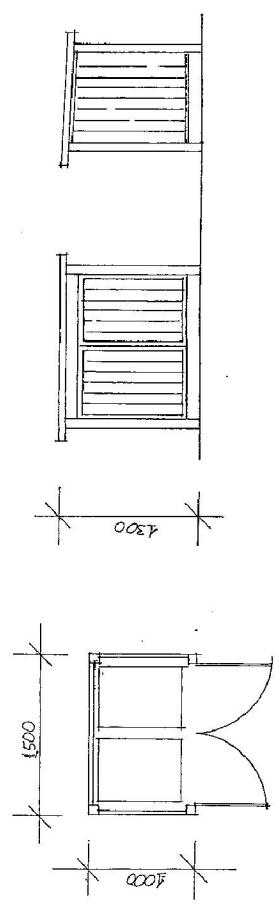
PLAN

FRONT ELEVATION

SIDE ELEVATIONS

REAR ELEVATION

BIN STORES: AS SHOWN ON THE SITE PLAN



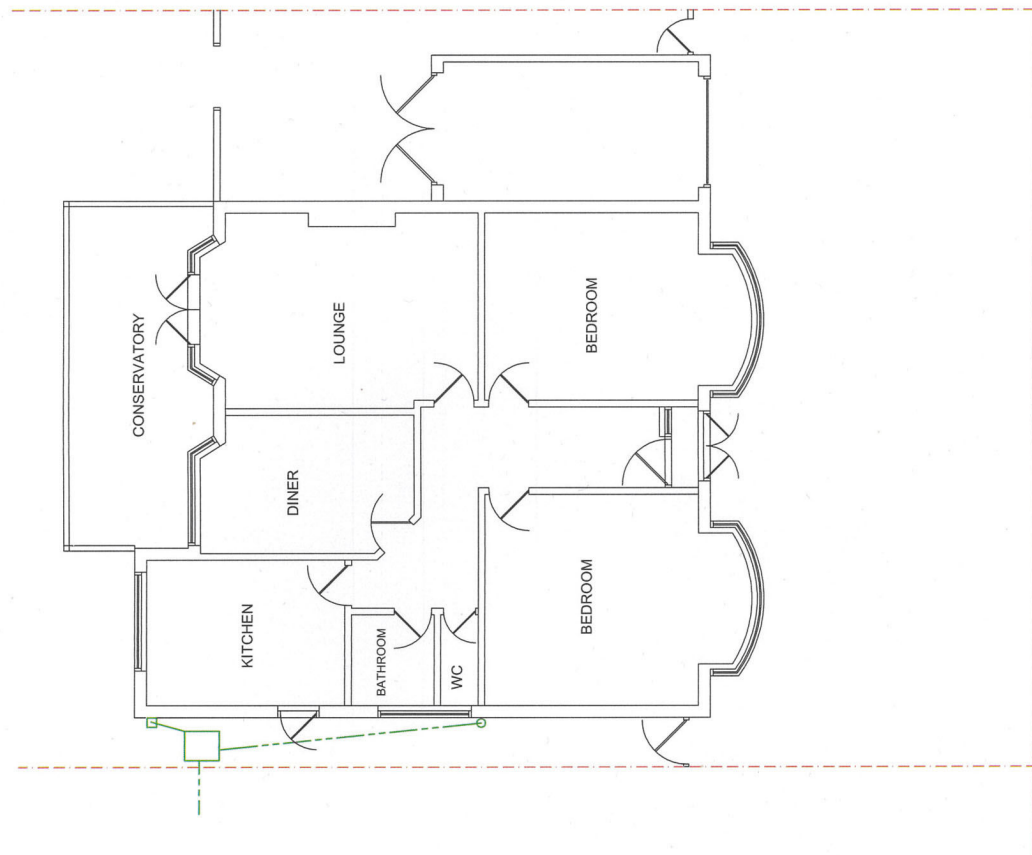
PLAN

FRONT ELEVATION

SIDE ELEVATION

100 X 100 TIMBER POSTS. TIMBER BOARDING ON TIMBER RAHLS.  
AIR GAP AT BASE.  
DOMESTIC WASTE: 3 X 240 LITRE BINS  
GREEN WASTE: 3 X 240 LITRE BINS

PROJECT: 81, SHENLEY AVENUE, RUISLIP, MIDDX HA4 6BT		DRAWING TITLE: PROPOSED CYCLE SHEDS AND BIN STORES	
SCALE: 1:50	DATE: JUNE 2011	DRAWING NO: 81/SAR/06	REV: B
		ACB ASSOC. OAK-HOUSE, WELLINGTON ROAD, SANDHURST, BERKSHIRE GU47 9AY	



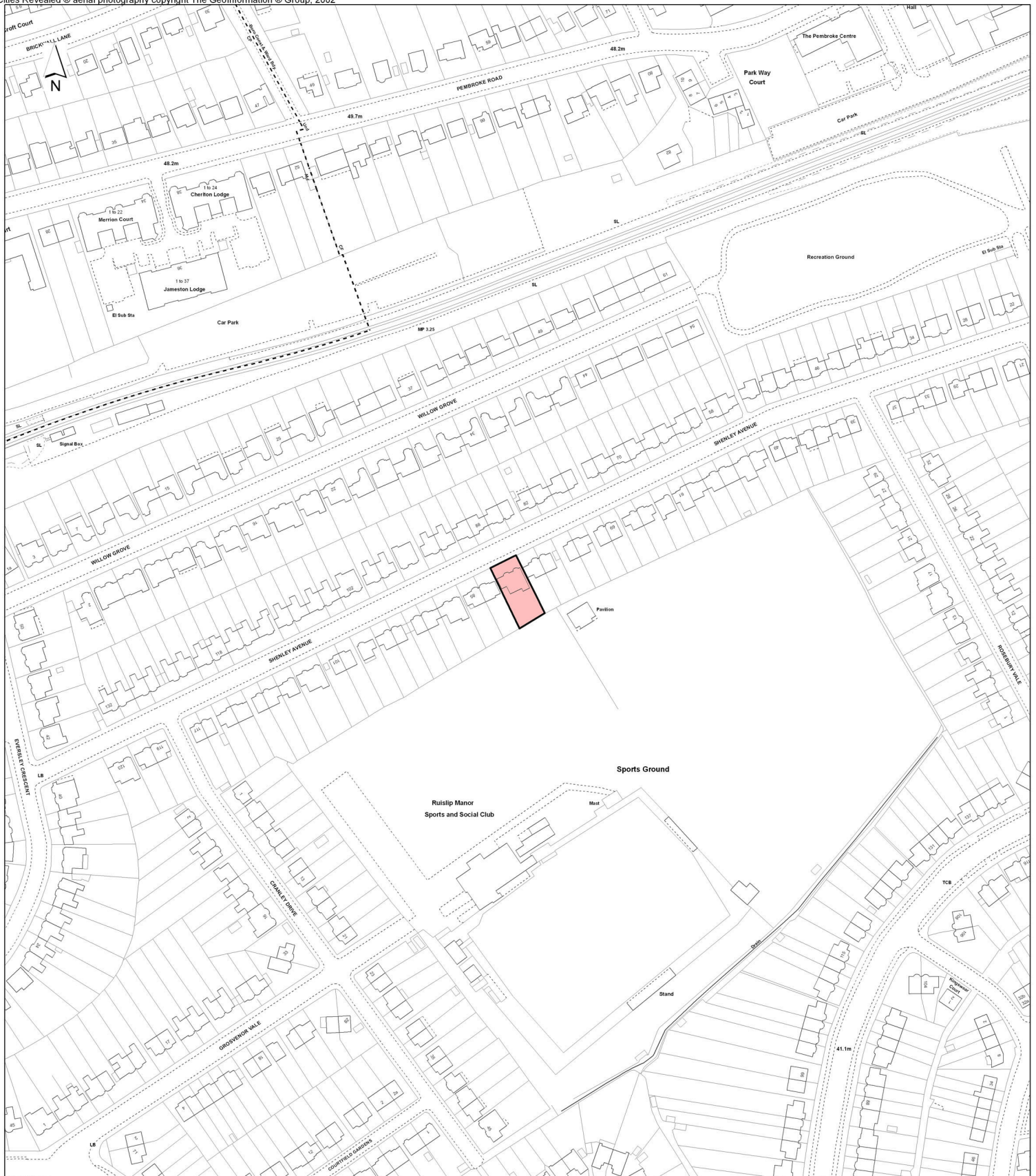
ALL DIMENSIONS TO BE CHECKED BY WORKING DRAWINGS

GROUND FLOOR PLAN

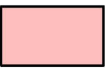
Project:		81 SHENLEY AVENUE RUISLIP HA4 6BT	
Drawing Title:		EXISTING FLOOR PLAN	
Scale:	Date:	Drawing No:	Rev: A
1:100	2008	81SHEN/JH-001	



445 VICTORIA ROAD  
RUISLIP  
MIDDLESEX HA4 0EG  
Telephone 020 8842 0144  
Fax 020 8845 1100  
contact@stanfieldhomes.co.uk



**Notes**

 Site Boundary

For identification purposes only.

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Site Address	
<b>81 Shenley Avenue, Ruislip</b>	
Planning Application Ref:	Scale
<b>64555/APP/2012/14</b>	<b>1:1,250</b>
Planning Committee	Date
<b>North</b>	<b>July 2012</b>
Page 114	

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON



## **Report of the Head of Planning & Enforcement Services**

**Address** EASTCOTE HOUSE AND GARDENS HIGH ROAD EASTCOTE

**Development:** Repair works to garden wall, installation of new gate to eastern side of wall and repair of stable block and installation of 2 micro CCTV cameras and burglar alarm to eaves of stable block (Application for Listed Building Consent).

**LBH Ref Nos:** 23846/APP/2012/1133

**Date Plans Received:** 10/05/2012

**Date(s) of Amendment(s):** 21/06/2012

**Date Application Valid:** 10/05/2012

NOTES  
 The Contractor shall verify all dimensions at site before starting work.  
 All work shall be carried out in accordance with the specifications set out in the contract documents.  
 DO NOT SCALE FROM THIS DRAWING



1 All wall areas hatched thus, carefully clean facing and coping bricks of debris, vegetation, etc using dry brush. Take out joints to the depth of 12-20mm or more if the joints are found to loose. If any facing bricks or coping bricks are found to be loose, cartblil remove, clean and set a-side for reuse.

2 Rebed facing or coping bricks in matching construction & pattern as clause F10/66.5 ensuring all replacement bricks are salvaged/second hand as clause F10/110 closely matching in colour, texture & size.

3 Allow for creating plain tiles, below coping bricks for the entire length of wall. Lay existing tiles to match existing (Evidence of tiles within wall section 1a-2). Allow for removal of coping bricks to allow for laying existing tiles.

Allow for careful removal of plants/vegetation adjacent to wall for repointing lower courses as shown.



4 Replace broken/damaged/missing facing bricks in match construction hatched thus.

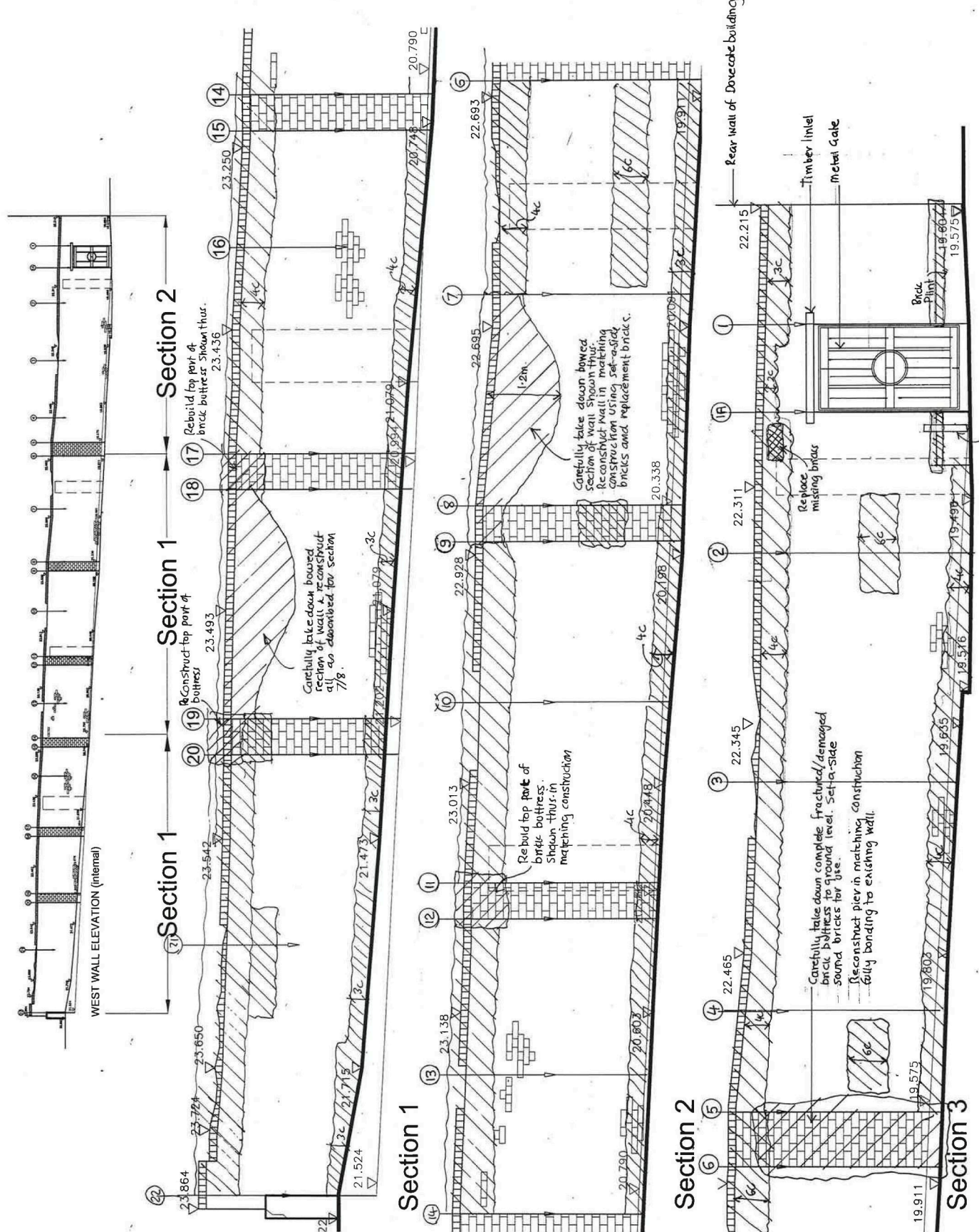


5 Rebuild wall shown thus.

6 This drawing is to be read in conjunction with all specification clauses under Section 3.

7 Numbers identified along the length of wall refers to sequence of photographs taken on site for records.

Project Name	HILLINGDON		
Client	CORPORATE LANDLORD GROUP		
Address	4/11, CIVIC CENTRE, URBISSE, WOLLESEY, LIVERPOOL		
Contact	Tel: 01853 256 111 Fax: 01853 277 224		
Project Description	EASTCOTE HOUSE GARDENS EASTCOTE REPAIR WORKS		
Document Title	INTERNAL WEST WALL EXISTING ELEVATION		
Scale	1:200 - 1:50 @ A3		
Drawn By	AA		
Checked By	AA		
Date	DEC 2011		
Revision	2011/P118/D/11		



WEST WALL ELEVATION (INTERNAL)

NOTES  
 The Contractor must verify all dimensions of the site before starting out. All dimensions are to be taken from the Centre Line unless otherwise stated. DO NOT SCALE FROM THIS DRAWING.

1. Removal of trellis  
 Carefully remove all wire mesh trellis fixed to the entire length of wall and cart away from site.
2. Removal of vegetation  
 Carefully remove all vegetation on wall & at base of the entire wall. Clean entire wall of loose debris by using dry brush or other suitable tool.

- 3 Refer to drawing no. 2011/P118/D/11 for repointing of wall, cleaning, rebanding of pierce/businesses etc.
- 4 This drawing is to be read in conjunction with all specification clauses under section 3
- 5 Numbers identified along the wall refers to sequence of photographs taken on site per records.

Item	Revision notes	Issue	Date
A	REMOVAL OF VEGETATION AND QUANTITY WORKS TO BE UNDERTAKEN	AA	18/01/12

**HILLINGDON**  
 LONDON

CORPORATE LANDSCAPE GROUP  
 4th/11, CIVIC CENTRE, URBROCK, MIDDLESEX, UB8 3JW  
 Tel: 01895 250 111  
 Fax: 01895 277 224

PROJECT  
 EASTCOTE HOUSE GARDENS  
 EASTCOTE REPAIR WORKS

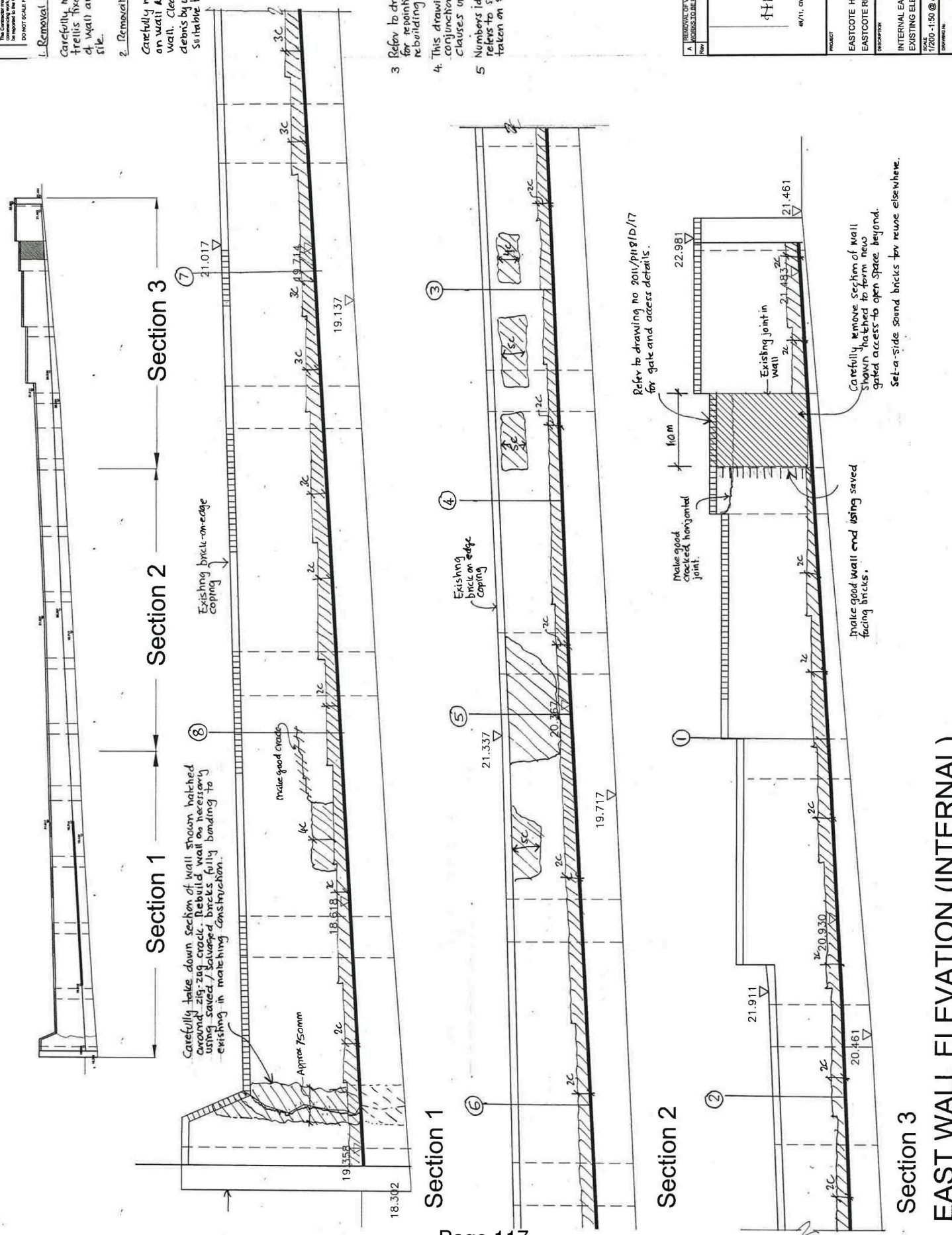
DISCIPLINE  
 INTERNAL EAST WALL  
 EXISTING ELEVATION

SCALE  
 1/200 - 1/50 @ A3

DRAWN BY  
 AA

CHECKED BY  
 AA

DATE  
 2011/P118/D/09



**EAST WALL ELEVATION (INTERNAL)**

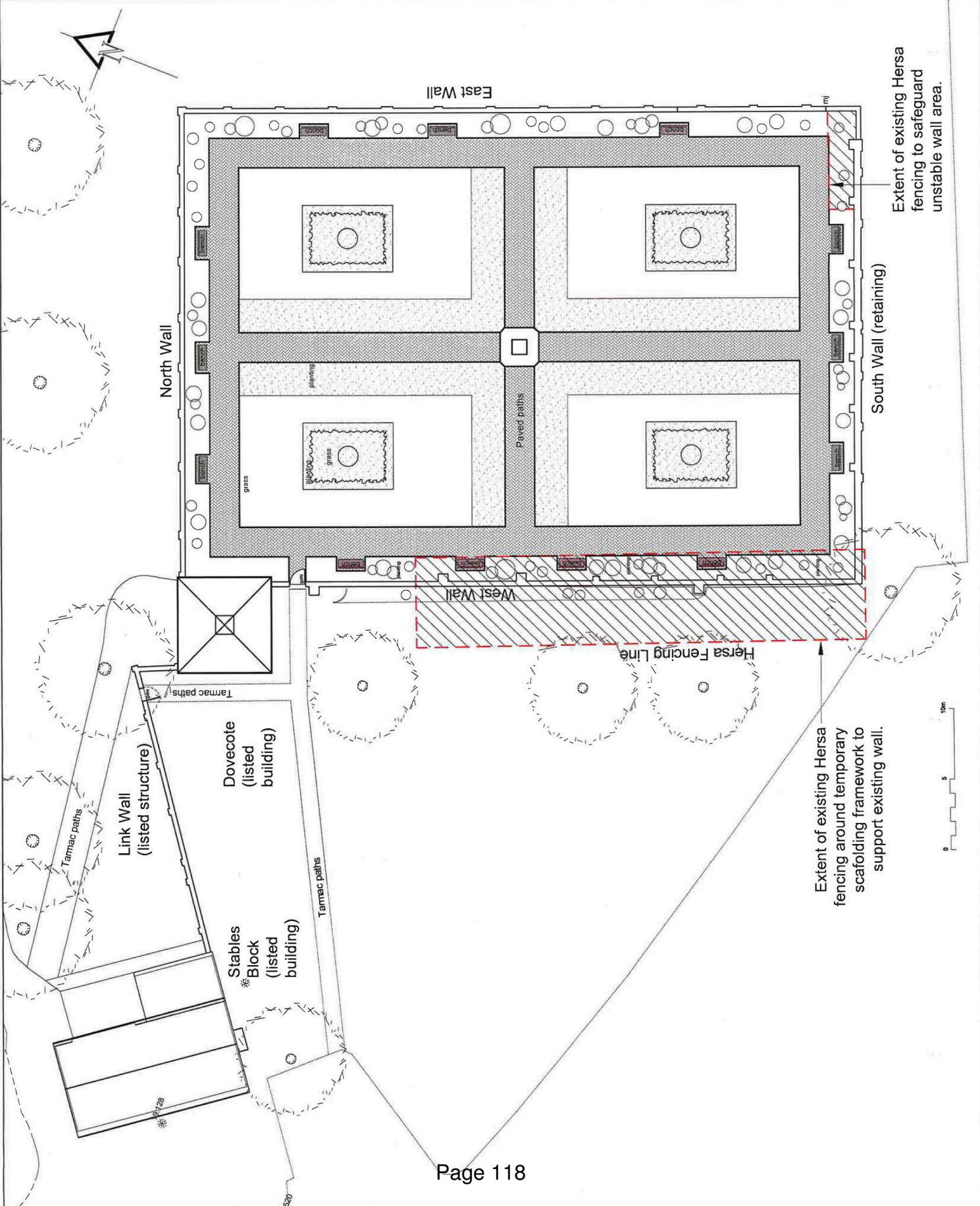
NOTES  
 The Contractor shall verify all dimensions at the site before starting work.  
 All dimensions shall be reported to the Contract Administrator before proceeding.  
 DO NOT SCALE FROM THIS DRAWING

Rev	Revisions notes	Author	Date

**HILLINGDON**  
 LONDON  
 CORPORATE LANDSCAPE GROUP  
 4th FLOOR, CIVIC CENTRE, URBISIDE, MIDDLESEX, UB8 3PH  
 Tel: 01885 205 111  
 Fax: 01885 277 224

PROJECT: EASTCOTE HOUSE AND GARDENS  
 EASTCOTE REPAIR WORKS

WALLED GARDEN  
 EXISTING PLAN  
 Scale: 1:250 @ A3  
 Drawn by: SAM  
 Checked by: SV  
 Date: 22/02/12  
 Drawing No: 2011/P118/D/07



NOTES

The Contractor must verify all dimensions at the site before setting out. If any discrepancies are found, they must be reported to the Consultant immediately and must not proceed with the works until the Consultant has approved any necessary amendments.

SURVEY KEY

- |    |       |    |       |    |       |    |             |    |       |
|----|-------|----|-------|----|-------|----|-------------|----|-------|
| TS | 1:100 | TS | 1:100 | TS | 1:100 | TS | 1:100       | TS | 1:100 |
| 7  | Water | 10 | Waste | 13 | Gas   | 16 | Electricity | 19 | Drain |
| 8  | Water | 11 | Waste | 14 | Gas   | 17 | Electricity | 20 | Drain |
| 9  | Water | 12 | Waste | 15 | Gas   | 18 | Electricity | 21 | Drain |
|    |       |    |       |    |       |    |             |    |       |
|    |       |    |       |    |       |    |             |    |       |



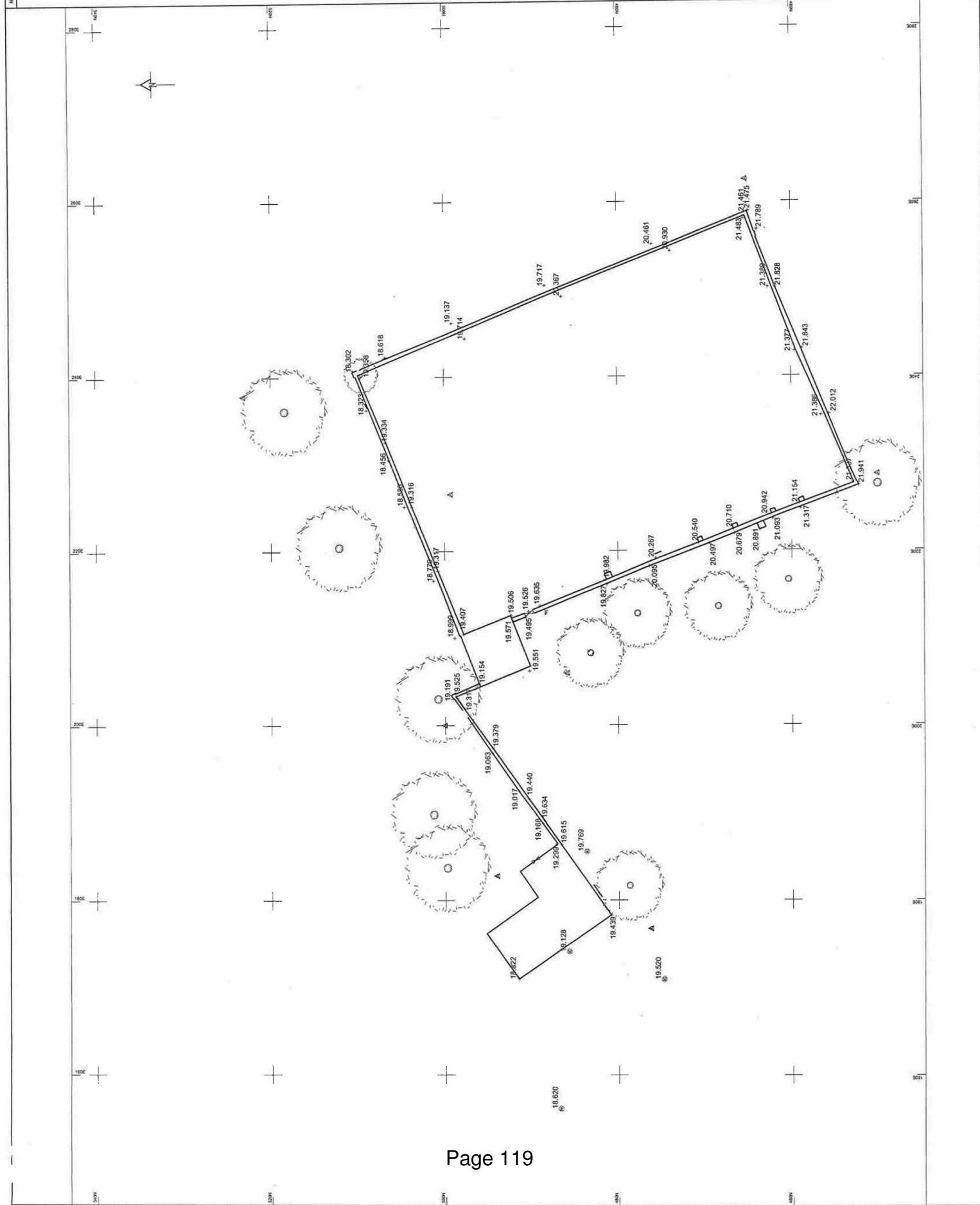
**HILLINGDON**  
LONDON  
CORPORATE LANDSCAPE GROUP  
4th FL, CIVIC CENTRE, UMBROSE, WOODLEIGH, UBS UWF  
Tel: 01895 255 111  
Fax: 01895 277 224

**EASTCOTE HOUSE GARDENS**  
EASTCOTE REPAIR WORKS

TOPOGRAPHICAL & TREE SURVEY

Project Name	SAM	Date	DEC11
Scale	1:200 @ A1	Sheet	AA
Drawn		Rev	

2011/P118/D/03



NOTES  
 The Contractor shall verify all dimensions at the site before commencing work. If any discrepancy is identified, the Contractor shall advise the Client immediately. All dimensions shall be confirmed by the Contractor.  
 DO NOT SCALE FROM THIS DRAWING

1. Removal of trellis:


Carefully remove all wire mesh trellis fixed to wall as identified on the elevations and cart away from site.

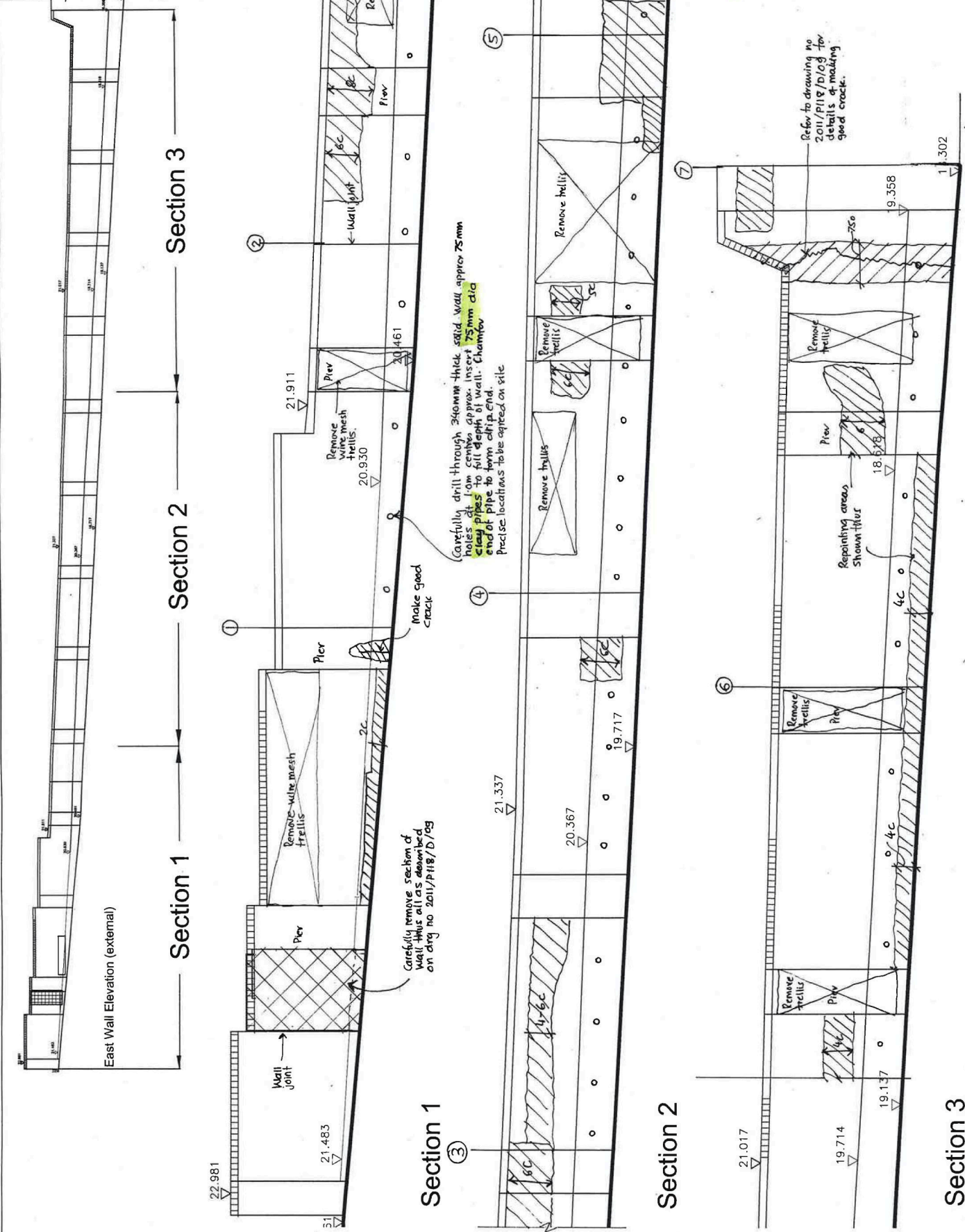
2. Removal of Vegetation

Carefully remove all vegetation on wall at base of the entire wall. Clean entire wall of loose debris by using dry brush or other suitable tools.  
 3. Refer to drawing no 2011/P118/D/11 for repainting of wall, cleaning, rebuilding of pier, etc.

4. This drawing is to be read in conjunction with all specification clauses under Section 3

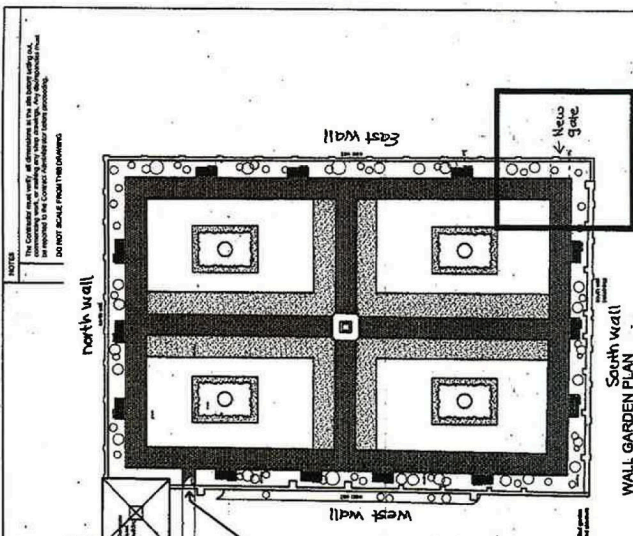
5. Numbers identify fixed along the wall refer to sequence of photographs taken on site by recorder.

Revision number	Date
1	08/12/13
 <p><b>HILLINGDON</b> LONDON</p> <p>CONCRETE REPAIRS GROUP        49/11, ONE CONCRETE, UNNICE HOUSE, URB 11W        Tel: 01895 235 111        Fax: 01895 277 224</p>	
PROJECT	
EASTCOTE HOUSE GARDENS	
EASTCOTE REPAIR WORKS	
DESCRIPTION	
EXTERNAL EAST WALL	
EXISTING ELEVATION	
SCALE	DRAWN BY
1/200 - 1:50 @ A3	AA
CHECKED BY	DATE
AW	08/12/13
DATE	

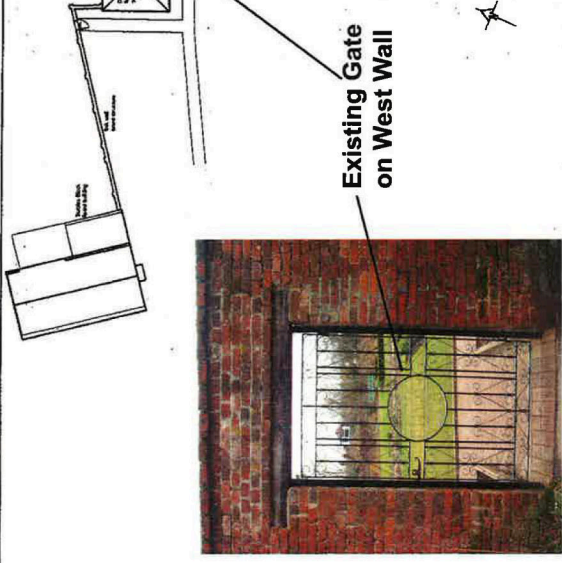


Refer to drawing no 2011/P118/D/09 for details of making good cracks.

EAST WALL ELEVATION (EXTERNAL)

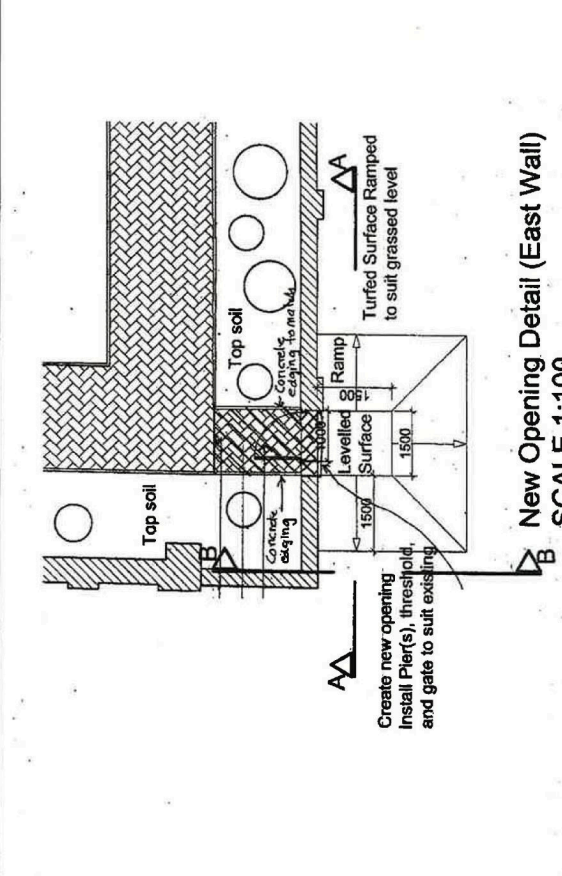


**New Opening  
Detail (East Wall)**

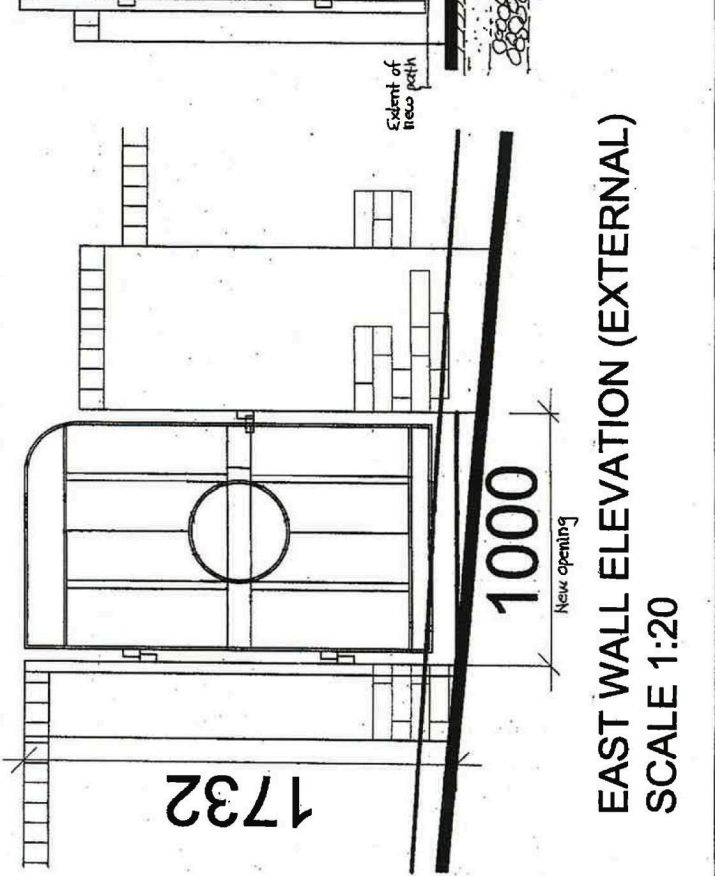


**Existing Gate  
on West Wall**

**Design of new gate and fixings to match existing. West Wall Gate but with semi-circular corner. Other date letters to be 2012 and letters to be EHEG. Other letter to be omitted. Latch designed to BS5709:2006. Gate to be operable with force no greater than 20N**



**New Opening Detail (East Wall)  
SCALE 1:100**



**EAST WALL ELEVATION (EXTERNAL)  
SCALE 1:20**

**NOTES**  
No. Consider the wall, all dimensions & the 100mm cavity wall, unless otherwise stated. All dimensions are in millimetres. All dimensions are to the face of the wall unless otherwise stated.  
DO NOT SCALE FROM THIS DRAWING.

As Date please added, please added.  
Hand written notes removed

db 02.05.12

Rev	1	2	3	4	5
Date					
By					
Check					
Author					

**HILLINGDON**

CONTRACT CONSULTANTS  
44/11, 45/11, 46/11, 47/11, 48/11, 49/11, 50/11, 51/11, 52/11, 53/11, 54/11, 55/11, 56/11, 57/11, 58/11, 59/11, 60/11, 61/11, 62/11, 63/11, 64/11, 65/11, 66/11, 67/11, 68/11, 69/11, 70/11, 71/11, 72/11, 73/11, 74/11, 75/11, 76/11, 77/11, 78/11, 79/11, 80/11, 81/11, 82/11, 83/11, 84/11, 85/11, 86/11, 87/11, 88/11, 89/11, 90/11, 91/11, 92/11, 93/11, 94/11, 95/11, 96/11, 97/11, 98/11, 99/11, 100/11

**PROJECT**  
EASTCOTE HOUSE AND GARDENS  
EASTCOTE REPAIR WORKS

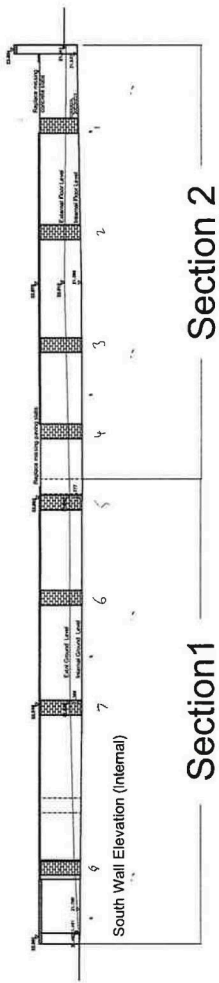
**SCALE**  
1:200 @ A3  
1:200 @ A4

**DATE**  
DEC 2011

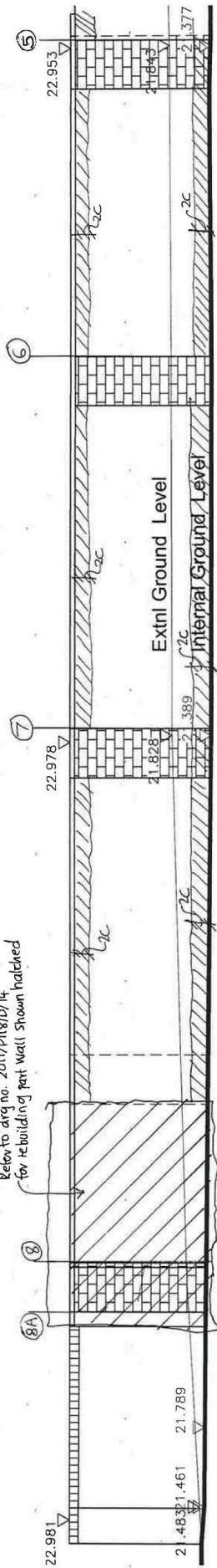
**REF.**  
2011/P118/D/17  
A

NOTES  
 The Contractor must verify all dimensions at the site before starting work.  
 Dimensions are given in millimetres unless otherwise stated.  
 DO NOT SCALE FROM THIS DRAWING

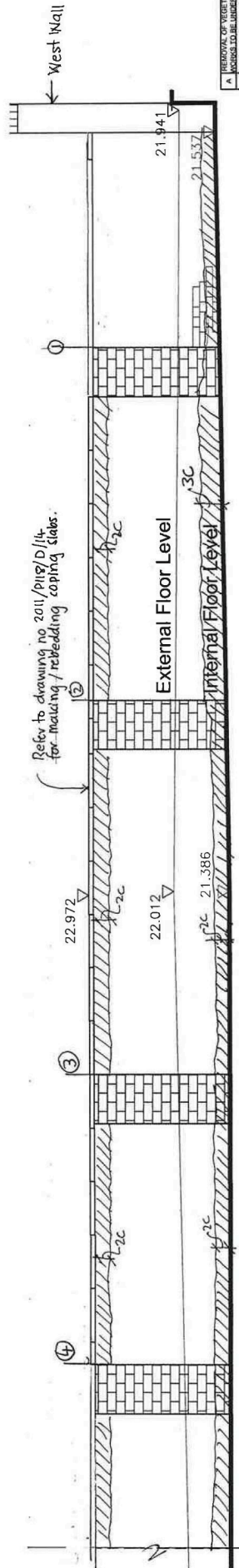
- 1 Refer to drawing no. 2011/P118/D/11 for repointing of wall, cleaning, rebuilding of pier 4, etc.
- 2 This drawing is to be read in conjunction with all specification clauses under Section 3
- 3 Numbers identified along the length of wall refers to sequence of photographs taken on site for records.



Refer to drawing no. 2011/P118/D/14 for rebuilding of part wall shown hatched



Section 1



Section 2

SOUTH WALL ELEVATION (INTERNAL)

Revision	Revision notes	Issued	Date
A	REVISION OF VEGETATION AND QUANTITY	AA	10-01-12

HILLINGDON LONDON

CORPORATE LANDSCAPE GROUP  
 46/711, ONE CENTRE, ULRICH, MIDDELSEX, URB 11W  
 Tel: 01895 250 111  
 Fax: 01895 277 224

PROJECT: EASTCOTE HOUSE GARDENS  
 EASTCOTE REPAIR WORKS

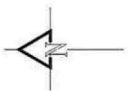
DESCRIPTION: INTERNAL SOUTH WALL  
 EXISTING ELEVATION

SCALE: 1/200 - 1:50 @ A3  
 DRAWN BY: AA  
 CHECKED BY: AA  
 DATE: DEC 2011  
 DRAWING NO.: 2011/P118/D/10





NOTES  
 This drawing is a site location plan and does not show the detailed layout of the site. It is intended to provide a general overview of the site and its surroundings. It is not to be used for detailed design or construction purposes. It is the responsibility of the client to ensure that the site is suitable for the proposed development and that all necessary planning and regulatory requirements are met. It is not to be used as a substitute for a detailed site survey or other professional advice.



Rev	Revision made	Issued	Date

**HILLINGDON**  
LONDON

CORPORATE LANDLORD GROUP  
 4th/11, CIVIC CENTRE, UXBROOK, MIDDLESEX, UB8 3UH  
 TEL: 01895 252 111  
 FAX: 01895 257 244

PROJECT  
 EASTCOTE HOUSE AND GARDENS  
 EASTCOTE REPAIR WORKS

DESCRIPTION  
 SITE LOCATION PLAN

SCALE  
 1:1250 @ A3

DESIGNED BY  
 AA

CHECKED BY  
 AA

DATE  
 DEC 2011

DRAWING NO.  
 2011/P118/D/01

NOTES

The Contractor shall verify all dimensions at the site before commencing work, or making any other drawings. Any discrepancies must be reported immediately to the design team. DO NOT SCALE FROM THIS DRAWING

1. Removal of trellis:

Carefully remove all wire mesh trellis fixed to wall as identified on the elevations and cart away from site.

2. Removal of Vegetation

Carefully remove all vegetation on wall at base of the entire wall. Clean entire wall of loose debris by using dry brush or other suitable tools.

3. Refer to drawing no 2011/P118/D/11 for repainting of wall, cleaning, rebuilding of pier, whitewash etc.

4. This drawing is to be read in conjunction with all specification clauses under Section 3

5. Numbers identify fixed along the wall refer to sequence of photographs taken on site by records.

**HILLINGDON**  
LONDON

CONCRETE SERVICES GROUP  
49/11, ONE CONCRETE, UNWOLFE HOUSE, URB 11W  
Tel: 01885 255 111  
Fax: 01885 277 224

PROJECT: EASTCOTE HOUSE GARDENS  
EASTCOTE REPAIR WORKS

DESCRIPTION: EXTERNAL EAST WALL  
EXISTING ELEVATION

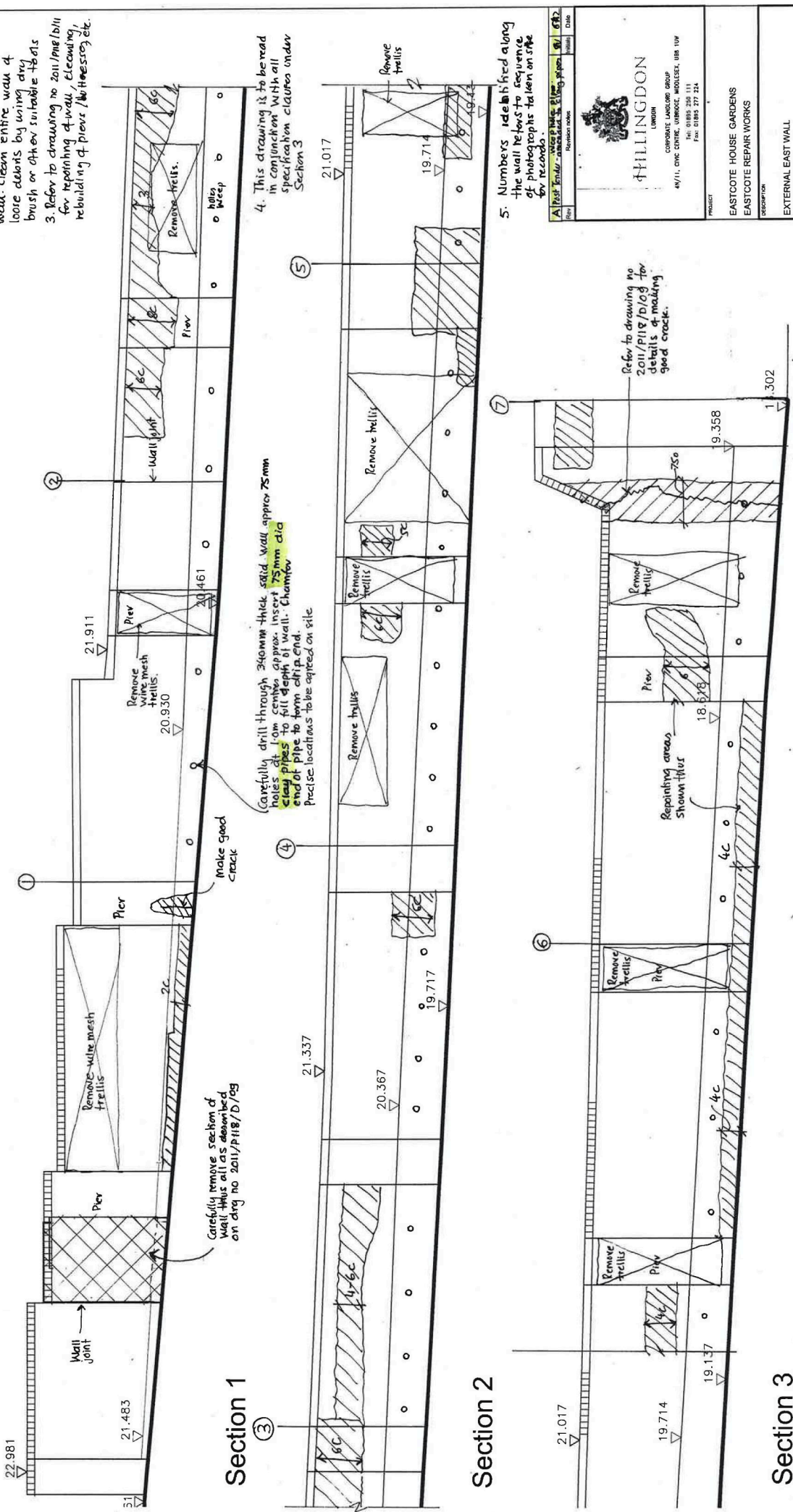
SCALE: 1/200 - 1/50 @ A3  
DRAWN BY: AA  
CHECKED BY: AA  
DATE: 2011/P118/D/13

East Wall Elevation (external)

Section 1

Section 2

Section 3

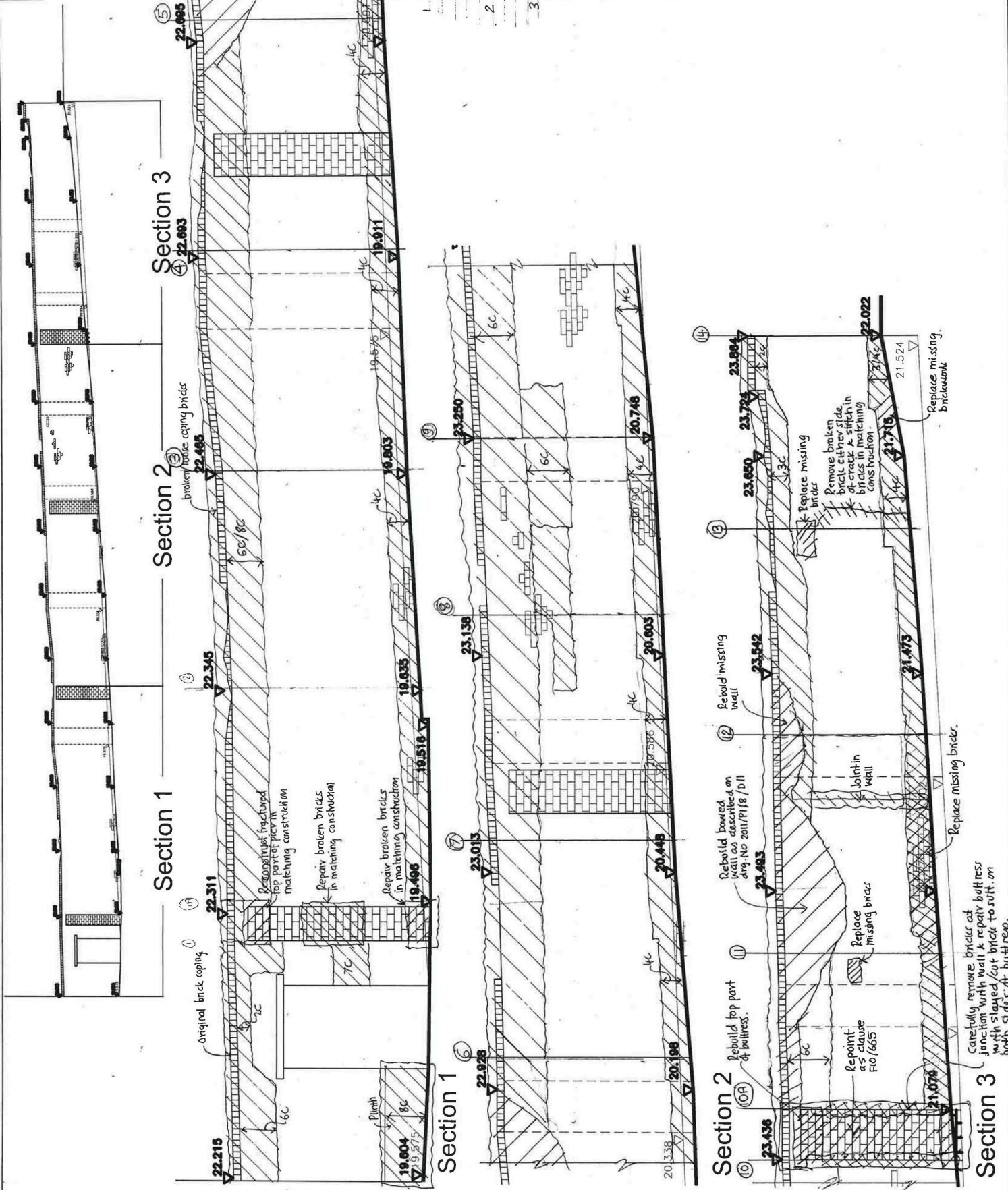


Section 1

Section 2

Section 3

NOTES  
 The Contractor must verify all dimensions at the site before starting work, by reference to the Contract Administrator before proceeding.  
 DO NOT SCALE FROM THIS DRAWING




1. Refer to drawing no 2011/P118/D/11 for repointing of wall, cleaning, rebuilding of pier & coping course.
2. This drawing is to be read in conjunction with all specification clauses under section 3.
3. Numbers identified along the length of wall refer to sequence of photographs taken on site for records.

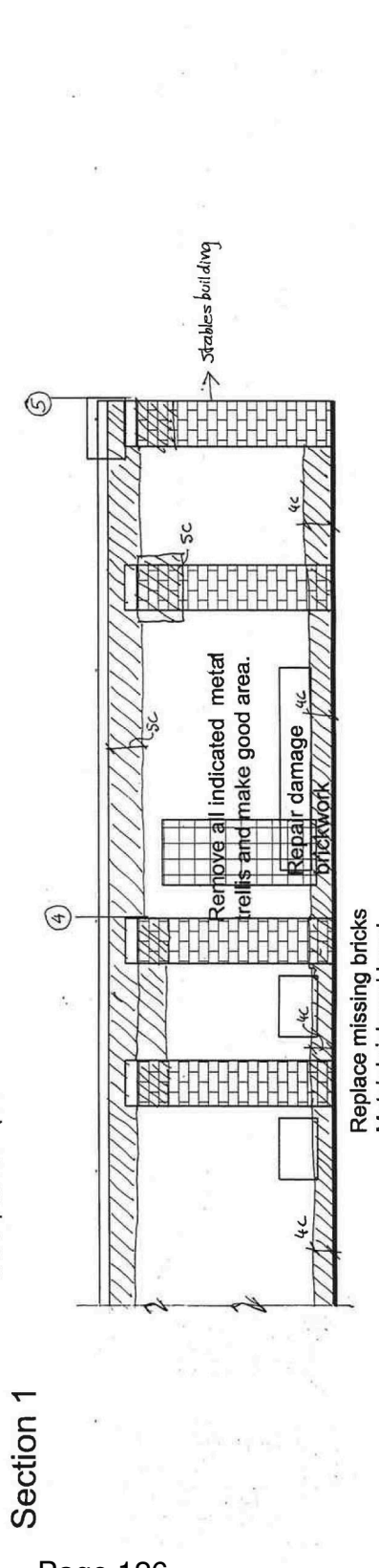
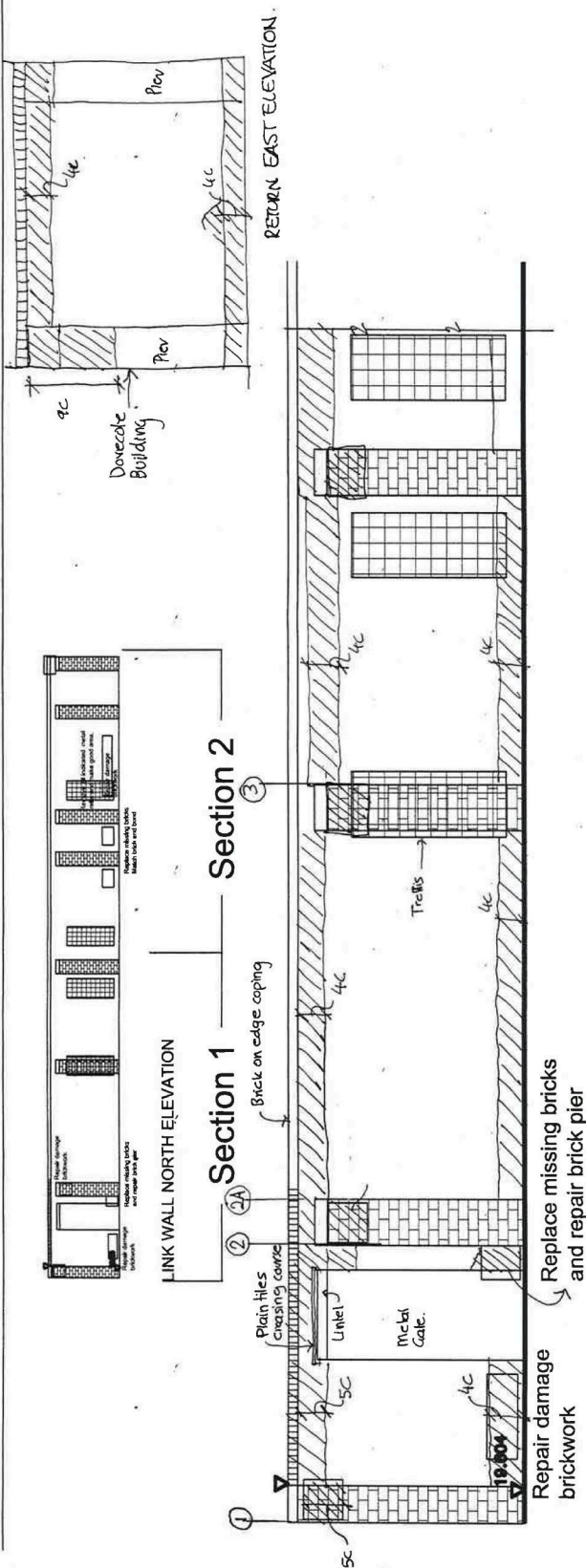
REV	REVISION	DATE
1	REMOVAL OF VEGETATION INSTRUCTION AND QUANTITIES WORKS TO BE UNDERTAKEN	14/11/12
2	REVISION NOTES	

HILLINGDON LONDON CORPORATE LANDSCAPE GROUP 48/71, GINC CENTRE, UMBROSE, MIDDLESEX, UB8 3UW Tel: 01885 230 111 Fax: 01885 277 224	
PROJECT EASTCOTE HOUSE GARDENS EASTCOTE REPAIR WORKS	
DESCRIPTION EXISTING WEST WALL	
SCALE 1/200 - 1:50 @ A3	
DRAWN BY JAA	CHECKED BY DATE
DRAWING NO. <b>2011/P118/D/15</b>	

- NOTES**
1. **Removal of Trellis:**  
Carefully remove all wire mesh trellis fixed to wall as identified on the checkmarks & cart away from site.
2. Carefully remove all vegetation on the wall, behind trellis & at base of the entire wall. Clean debris using dry brush or other suitable tool.
3. Refr to drawing no 2011/P118/D/11 for repointing of wall, cleaning etc
4. This drawing is to be read in conjunction with all specification clauses under section 3.
5. Numbers identified along the wall refers to sequence of photographs taken on site for records.

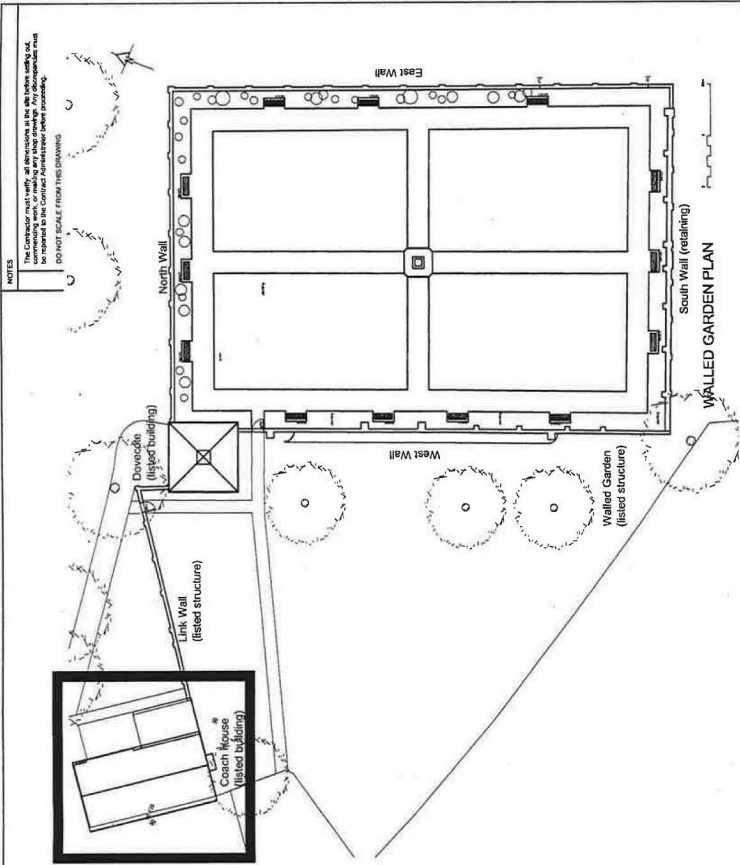
1. PRELIMINARY VEGETATION INSTRUCTIONS AND		AA	10/01/12
A. PLANNING WORKS TO BE UNDERTAKEN		Project	Date
 <b>HILLINGDON</b> LONDON CORPORATE LANDSCAPE GROUP 46/71, ONE CENTRE, WOODSEY, URB 11P TEL: 01895 230 111 FAX: 01895 271 241			
PROJECT			
EASTCOTE HOUSE GARDENS			
EASTCOTE REPAIR WORKS			
DESCRIPTION			
NORTH LINK WALL			
EXISTING ELEVATION			
SCALE	DRAWN BY	CHECKED BY	DATE
1/200 - 1/50 @ A3	AA	AA	
DRAWING NO.			REV.
2011/P118/D/16			



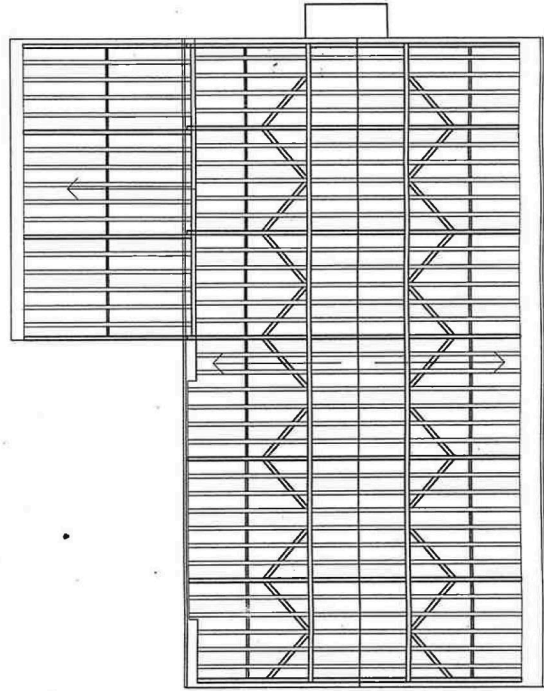
Section 1

Section 2

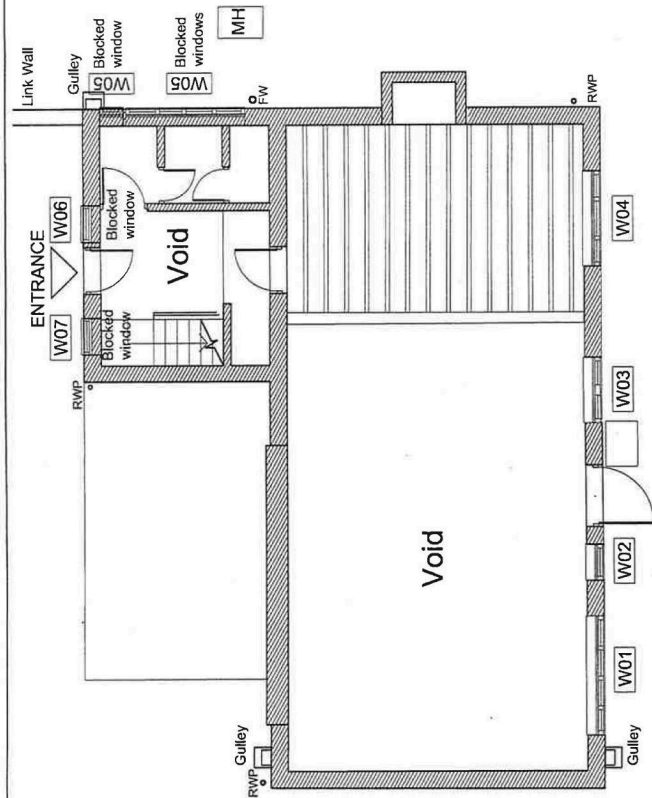
LINK WALL NORTH ELEVATION



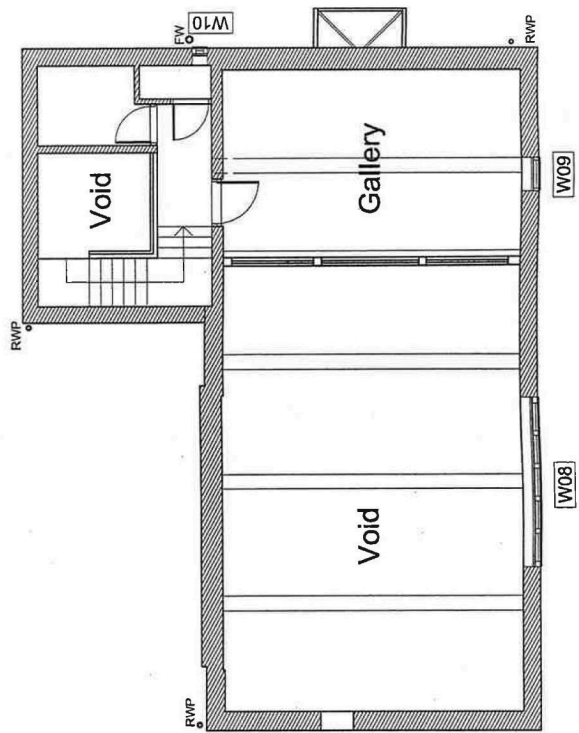
Rev	Revision notes	Initials	Date
CORPORATE LANDSCAPE GROUP 46/71, CIVIC CENTRE, MARKET STREET, LONDON, W1P 0LP TEL: 01895 277 224 FAX: 01895 277 224			
PROJECT			
EASTCOTE HOUSE GARDENS EASTCOTE REPAIR WORKS			
DESCRIPTION			
STABLE BLOCK BUILDING EXISTING FLOOR PLANS			
SCALE	DRAWN BY	CHECKED BY	DATE
1:50 @ A3	AA		DEC 2011
CONTRACT	REV		
2011/P/18/D/04			



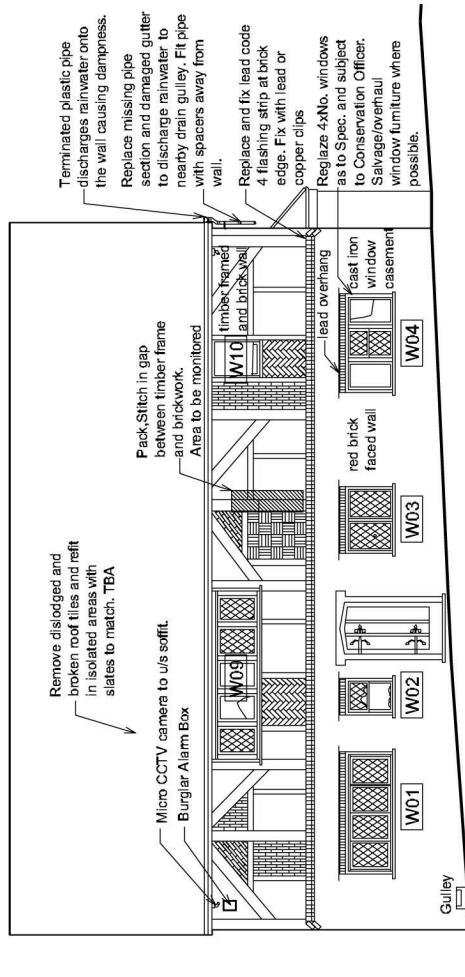
ROOF PLAN



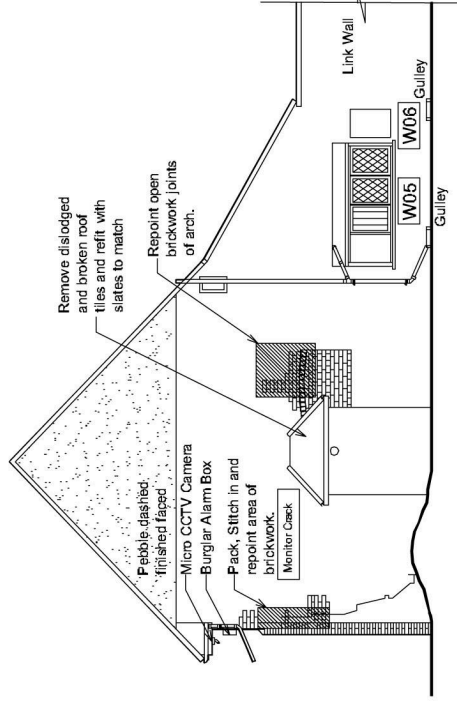
GROUND FLOOR PLAN  
STABLE BLOCK (Listed Building)



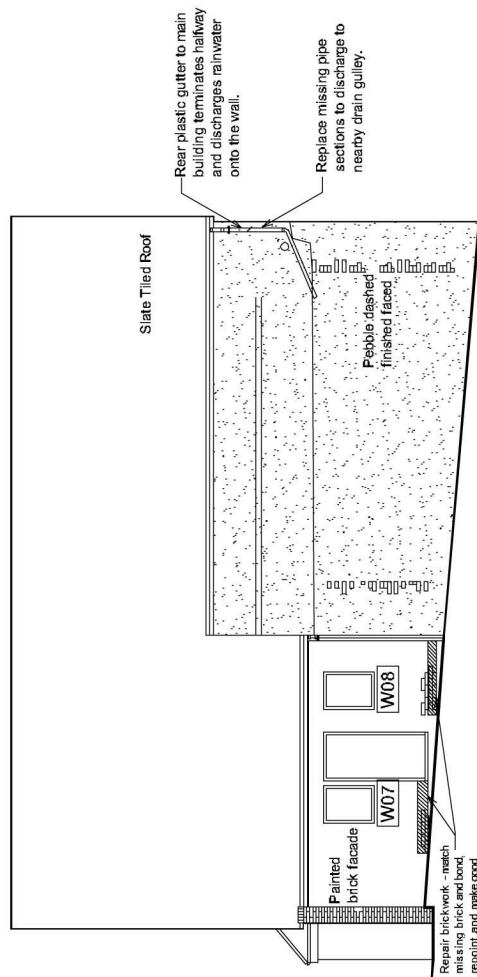
FIRST FLOOR PLAN



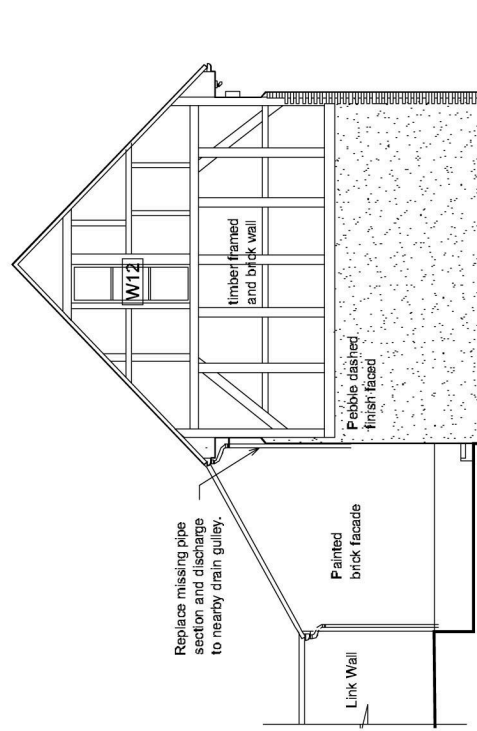
**WEST ELEVATION  
 STABLE BLOCK (Listed Building)**



**SOUTH ELEVATION**



**EAST ELEVATION**



**NORTH ELEVATION**

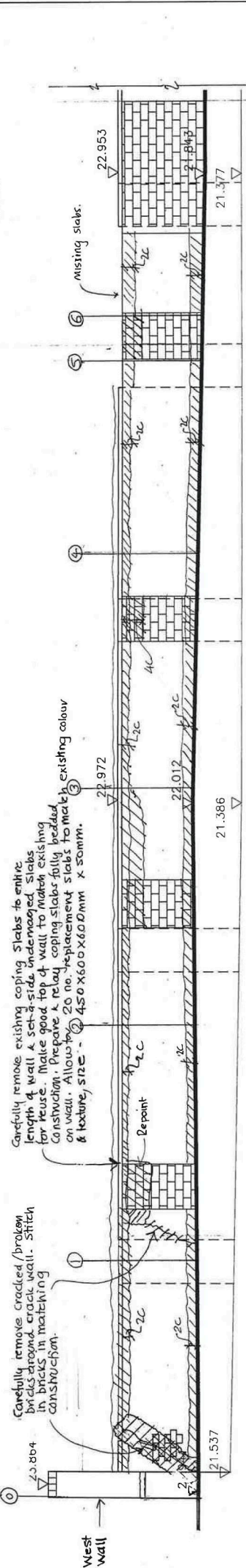
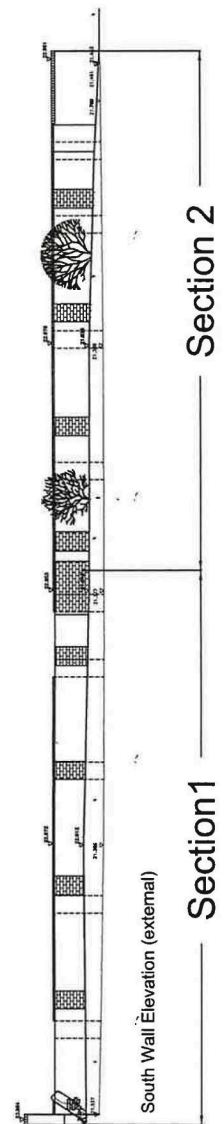
Rev	Revised / Date	CD	27/06/12
A	Final Design, CCTV & Burglar Alarm Box Added	1 - Final	Draw

**HILLINGDON**  
 CONSERVATION CONSULTANTS  
 46/11, CIVIC CENTRE, WINDSOR, MIDDLESEX, URB UK  
 Tel: 01892 220 111  
 Fax: 01892 277 221

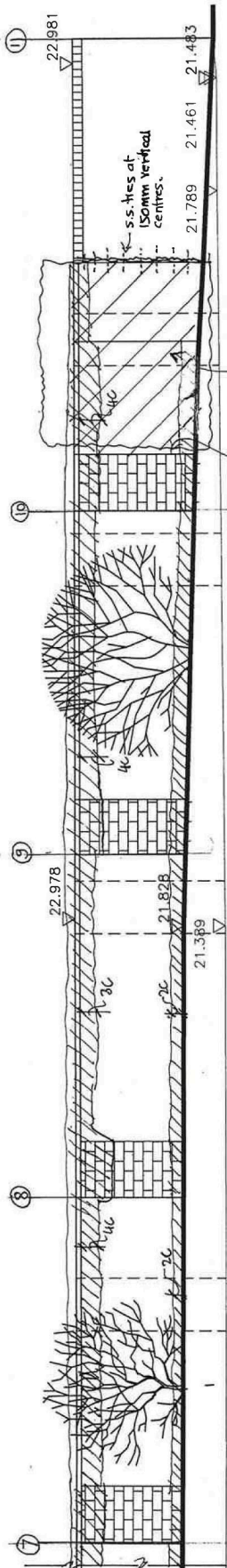
PROJECT NO		EASTCOTE HOUSE GARDENS EASTCOTE REPAIRWORKS	
DRAWING NO		CONSERVATION BUILDING EXISTING FLOORELEVATIONS	
DATE	SCALE	PROJECT	DATE
2011/1/P/18/D/05	1:1	AA	DEC 2011
DRAWN BY		REVISED BY	
A		A	

NOTES  
 The Contractor shall verify all dimensions at the site before commencing work. All dimensions shall be reported to the Contract Administrator before proceeding.  
 DO NOT SCALE FROM THIS DRAWING

- 1 Refer to drawing no. 2011/P118/D/11 for repointing of walls, cleaning, rebuilding of piers etc.
- 2 This drawing is to be read in conjunction with all specifications clauses under section 3.
- 3 Numbers identified along the length of wall refers to sequence of photographs taken on site for records.



Section 1



Section 2

SOUTH WALL ELEVATION (EXTERNAL)

Notes for Section 2:  
 Carefully take down leaning section of wall slabs balanced thus, set-a-side sound bricks for reuse. Reconstruct wall in piers in matching construction on existing base. Insert s.s. wall ties into existing end of wall to tie new wall at 150mm vertical centres.  
 Wall fully bonded existing at this end.

Rev	Revision code	Date

**ALLINGTON**  
LONDON

CORPORATE LANDSCAPE GROUP  
 47/1, ONE CENTRE, URBISSE, WOLVES, B96 1UH  
 Tel: 01885 250 111  
 Fax: 01885 277 224

PROJECT: EASTCOTE HOUSE GARDENS EASTCOTE REPAIR WORKS

DESCRIPTION: EXTERNAL SOUTH WALL EXISTING ELEVATION

DATE: 12/00-1/50 @ A3

DATE: DEC 2011

2011/P118/D/14

**NOTES**

1. This drawing is the property of Hillingdon Ltd. It shall remain their property and shall not be used for any other purpose without their written consent. It is intended for the Contractor's use only and shall not be used for any other purpose.

**1. Removal of trellis:**

Carefully remove all wire mesh trellis fixed to wall as indicated on the elevation & cart away from site.

**2. Carefully remove all vegetation on wall behind trellis and at base of the entire wall. Clean entire wall of all loose debris by using dry brush or other suitable tools.**

**3. Refer to drawing no 2011/P18/D/11 for repointing of wall, cleaning, etc.**

**4. This drawing is to be read in conjunction with all specifications clauses under Section 3.**

**5. Numbers identified along the wall refers to sequence of photographs taken on site for records.**

REV	DESCRIPTION	DATE
A	REMOVAL OF VEGETATION AND CLEANING	AA 19-04-12
B	MARKS TO BE UNDERSTOOD	

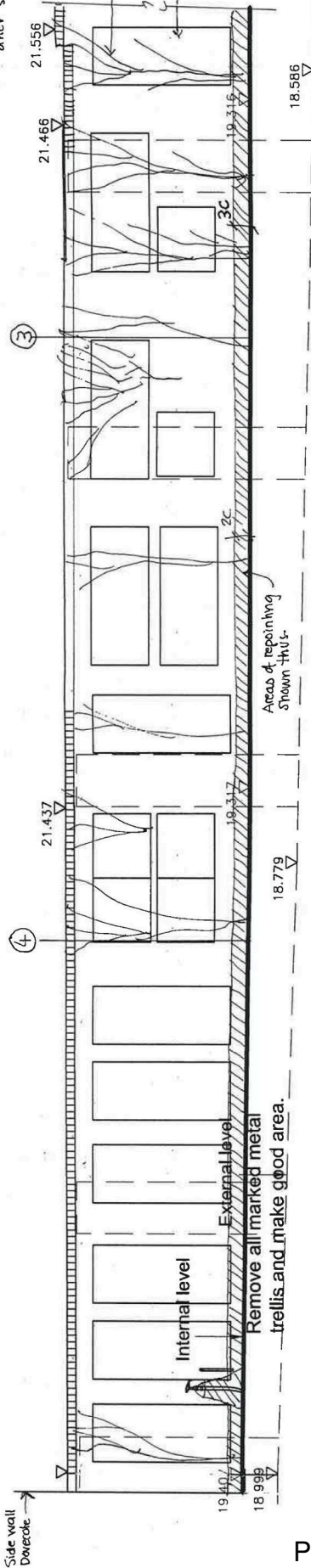
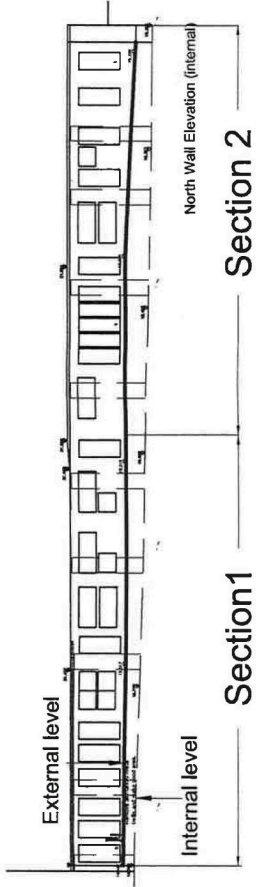
**HILLINGDON**  
LIMITED

CORPORATE LANDSCAPE GROUP  
THE OTHERS SUITE 111  
111, 113 & 115, ST. JOHN'S ROAD, UXTON, OXFORDSHIRE, OX18 3JJ

PROJECT: EASTCOTE HOUSE GARDENS  
EASTCOTE REPAIR WORKS

INTERNAL NORTH WALL  
EXISTING ELEVATION

SCALE: 1/200 - 1:50 @ A3  
DRAWN BY: AA  
CHECKED BY: AA  
DATE: DEC 2011  
PROJECT NO: 2011/P118/D/08



① Make good cracks by careful removal of cracked/broken bricks and chipping in matching bricks bond in matching construction.

**Section 1**

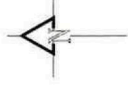
② Brick on edge coping

**Section 2**

**NORTH WALL ELEVATION (INTERNAL)**



NOTES  
 The Contractor shall be responsible for the safety of the public and shall be responsible for any damage to the site or surrounding areas. Any damage shall be repaired to the satisfaction of the Contract Administrator before proceeding.  
 DO NOT SCALE FROM THIS DRAWING



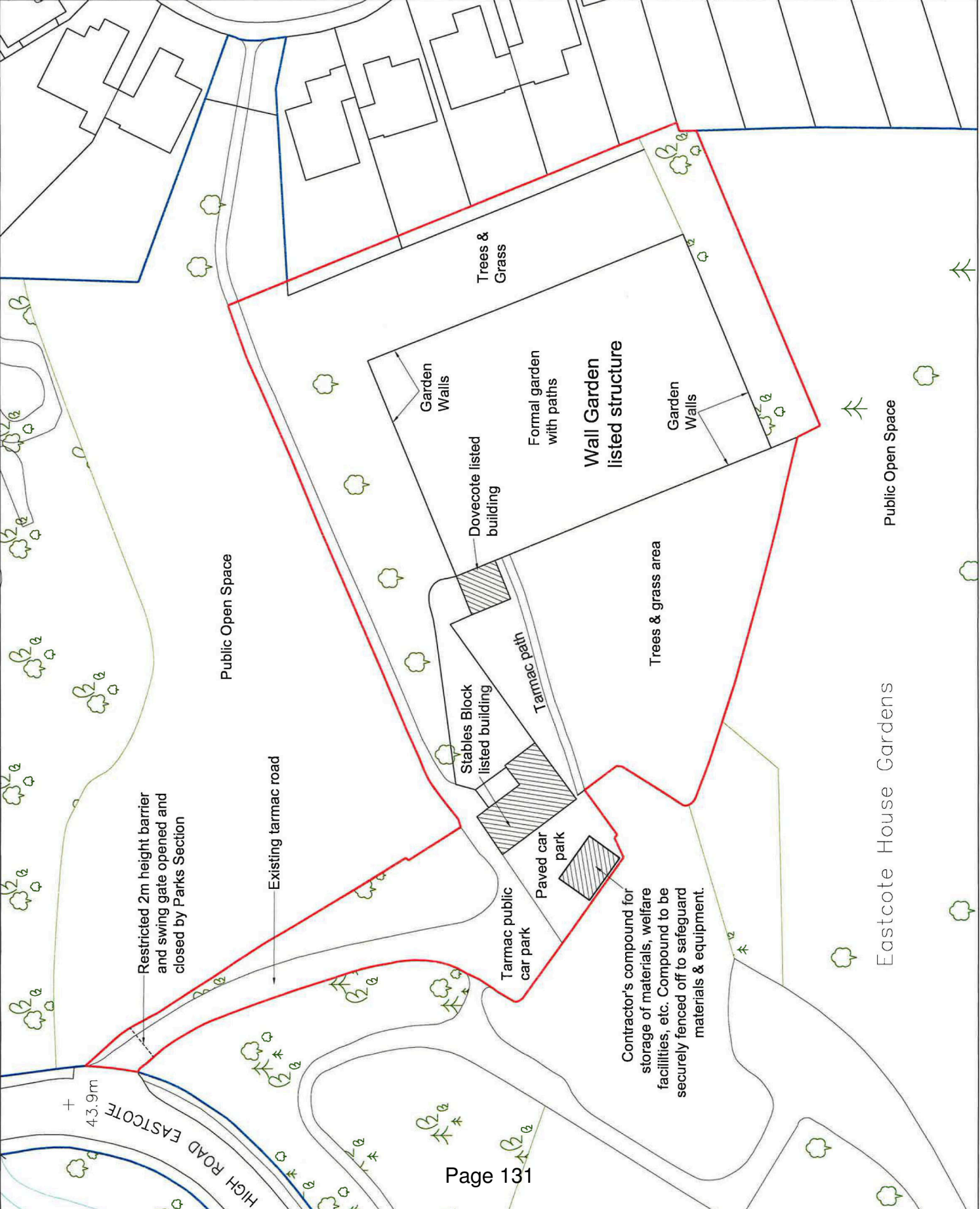
1. Contractor's access off High Road, Eastcote.
2. Contractor to allow for safely managing traffic in compliance with Highways & Health and Safety regulations.
3. Allow for all H & S signage as required under H & S regulations.
4. Allow for co-ordinating heavy vehicles movements with local Police as necessary.
5. Any damage to public footpath to be made good on completion.
6. Final arrangement of Contractor's facilities within the site to be agreed with the CA prior to commencement of works.
7. Contractor is not permitted to use any part of Stables & Dovecote facilities for storage of materials, etc. without prior arrangement with CA.
8. On completion the contractor to make good any damage to parking, soft planting, grassed areas.
9. Contractor to allow for all security measures necessary for duration of contract, to safeguard works, equipments, etc.,.
10. Contractor to note opening and closing hours of main gate, 7.00am - 5.00pm.
11. Public car park is used by public at all times.

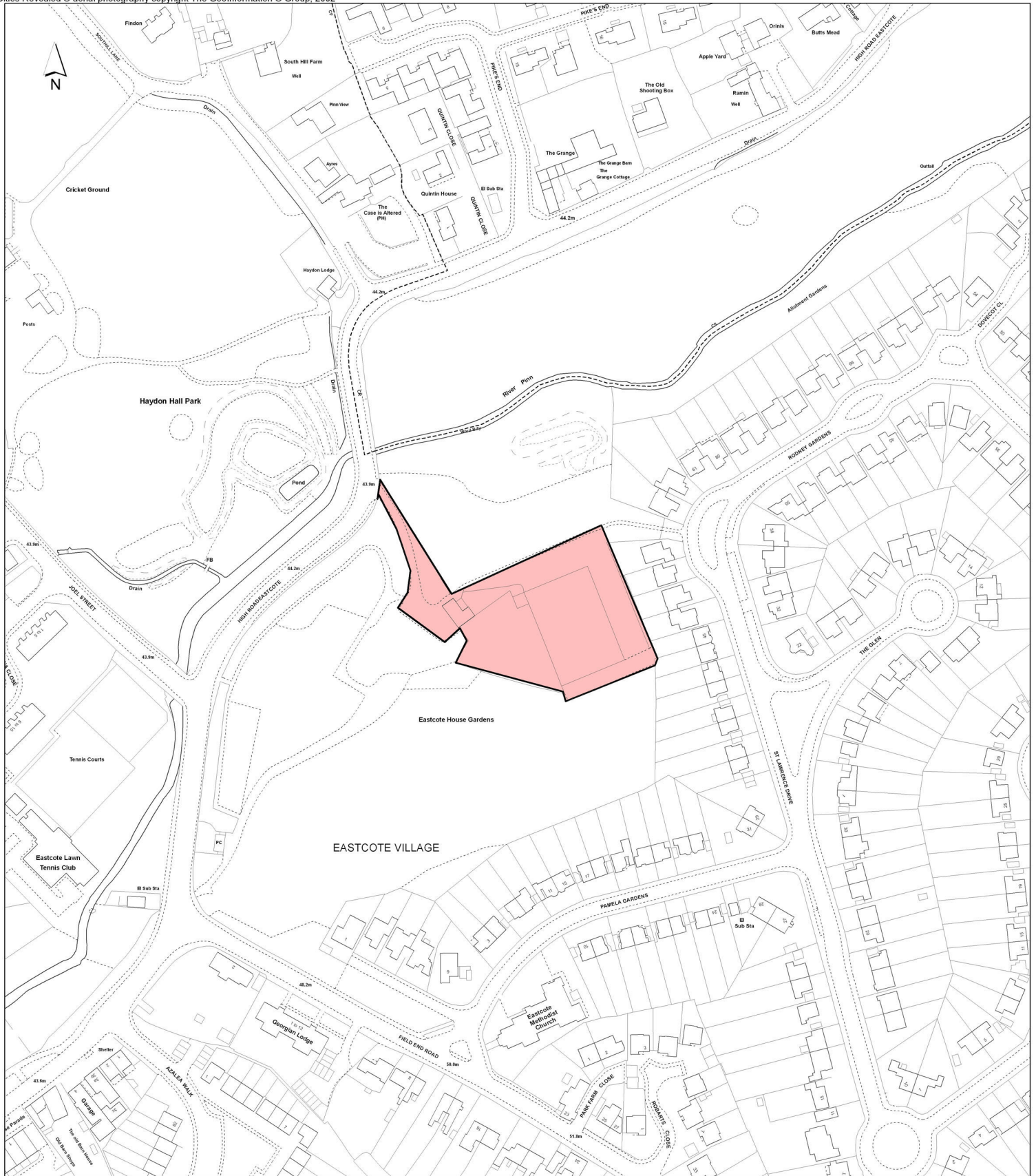
Rev	Revision notes	Issue	Date



**HILLINGDON**  
 LONDON  
 CORPORATE LANDSCAPE GROUP  
 4N/11, CITY CENTRE, LONDON, W1W 1W  
 Tel: 01895 277 11  
 Fax: 01895 277 21

PROJECT	
EASTCOTE HOUSE GARDENS	
EASTCOTE REPAIR WORKS	
DESCRIPTION	
EXISTING SITE PLAN SHOWING CONTRACTOR'S COMPOUND	
SCALE	DATE
1:500 @ A3	20/02/12
DRAWN BY	CHECKED BY
SAM	SV
DRAWING NO.	
2011/P/118/D/02	





**Notes**



Site Boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.

© Crown copyright and database rights 2011 Ordnance Survey 100019283

Site Address

**Eastcote House and Gardens,  
High Road,  
Eastcote**

Planning Application Ref:

**23846/APP/2012/1133**

Planning Committee

**North**

Scale

**1:1,250**

Date

**July 2012**

**LONDON BOROUGH  
OF HILLINGDON  
Planning,  
Environment, Education  
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

**Report of the Head of Planning & Enforcement Services**

**Address** SACRED HEART RC PRIMARY SCHOOL HERLWYN AVENUE RUISLIP

**Development:** Formation of a multi-use games area (MUGA) to the southern boundary of the site to provide all weather play area for pupils of the school.

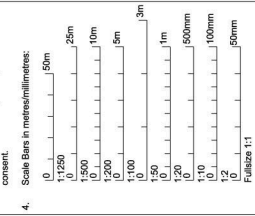
**LBH Ref Nos:** 386/APP/2012/750

**Date Plans Received:** 29/03/2012

**Date(s) of Amendment(s):**

**Date Application Valid:** 30/03/2012

- NOTES**
- Do not scale dimensions from this drawing except for L.A. Planning purposes.
  - All contractors and sub-contractors must verify size and conditions on site before work commences.
  - Copyright: This drawing is copyright to DHP and may not be reproduced in any form without prior express written consent.
  - Scale Bars in metres/millimetres:  
 0 50m  
 0 1250  
 0 250  
 0 500  
 0 100  
 0 200  
 0 50  
 0 100  
 0 20  
 0 500mm  
 0 1000mm  
 0 200mm  
 0 50mm  
 Fullsize 1:1

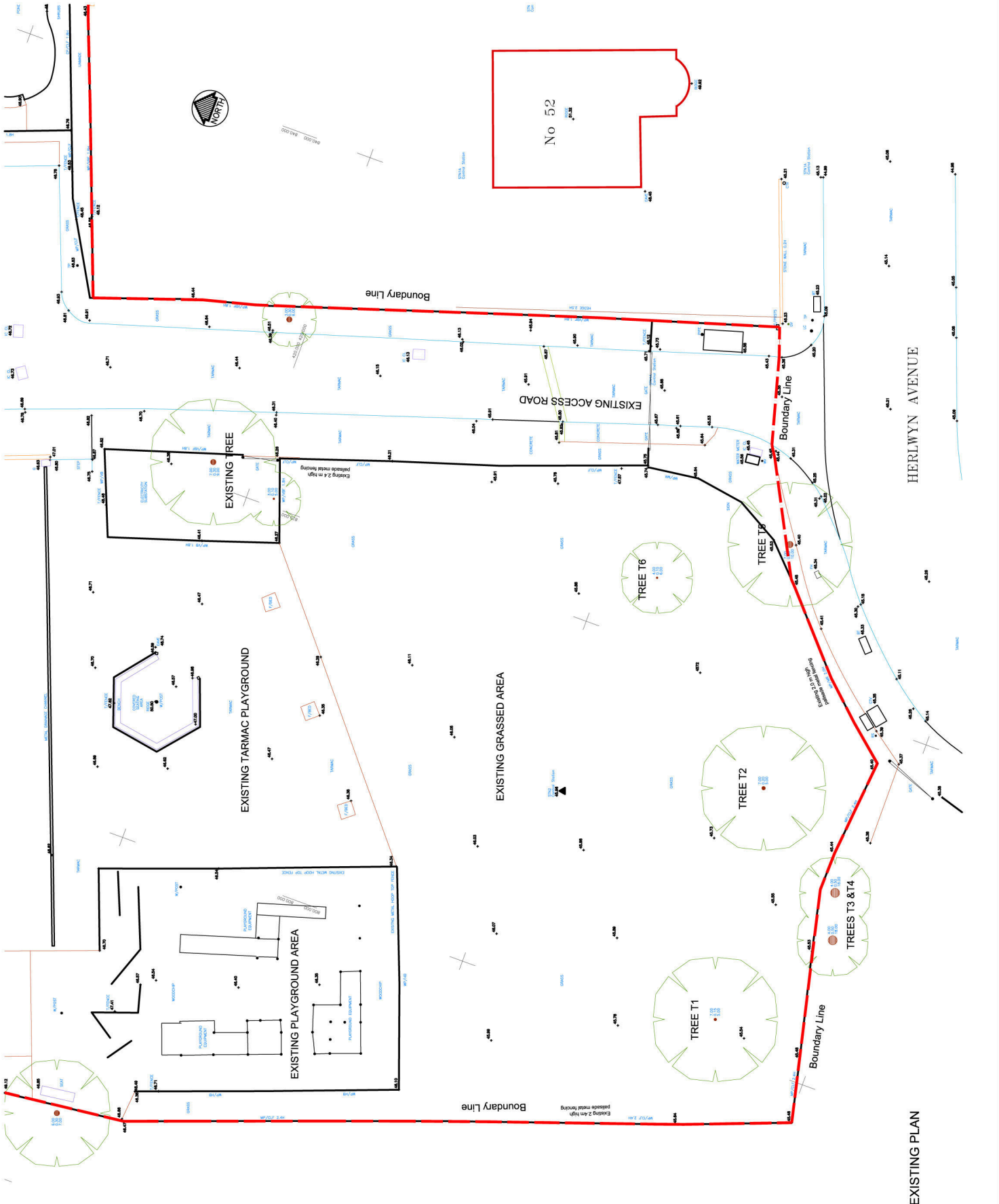


Rev.	Description	Date	Chkd

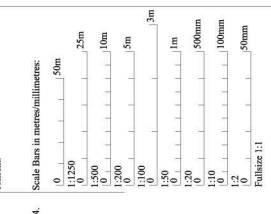
**DHP**  
**PROPERTY CONSULTANTS**  
 243 Brooklands Road  
 Weybridge KT13 9BH  
 Surrey  
 Tel: 01932 850100  
 Fax: 01932 841800  
 Email: business@dhpuk.co.uk  
 Web: www.dhpuk.co.uk

**JOB**  
 Sacred Heart Catholic  
 Primary School  
 Herlwyn Avenue, Ruislip

Drawings	Date	Drawn	Checked
Existing Plan	12/11	GW	
Number	4710-02		
Revision			



- NOTES**
1. Do not scale dimensions from this drawing except for L.A. Planning purposes.
  2. All contractors and sub-contractors must verify sizes and conditions on site before work commences.
  3. Copyright: This drawing is copyright to DHP and may not be reproduced in any form without prior express written consent.
  4. Scale Bars in metres/millimetres:



**DHP**  
**PROPERTY CONSULTANTS**  
 243 Brooklands Road  
 Weybridge, Surrey  
 KT13 0BF  
 Tel: 01932 850100  
 Fax: 01932 841800  
 Email: business@dhpak.co.uk  
 Web: www.dhpak.co.uk

Job: Sacred Heart Catholic Primary School  
 Heriwyn Avenue, Ruislip

Drawing: Existing Site Location and Block Plans

Scale	Date	Drawn	Checked
1:1250/500@A1	12/2011	GW	---

Number: 4710-01  
 Revision: ---

Rev.	Description	Date	CHK'd



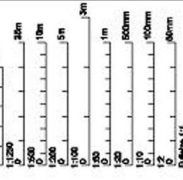
? Crown Copyright. All rights reserved.  
 Licence number 100020449

Page 135  
**SITE LOCATION PLAN 1:1250**

**BLOCK PLAN 1:500**

**NOTES**

1. Do not scale dimensions from the drawing.
2. All construction shall be in accordance with the relevant standards of the local authority.
3. Copyright: This drawing is copyright to DHP and may not be reproduced in any form without the prior written consent of DHP.
4. Show lines to infrastructure.

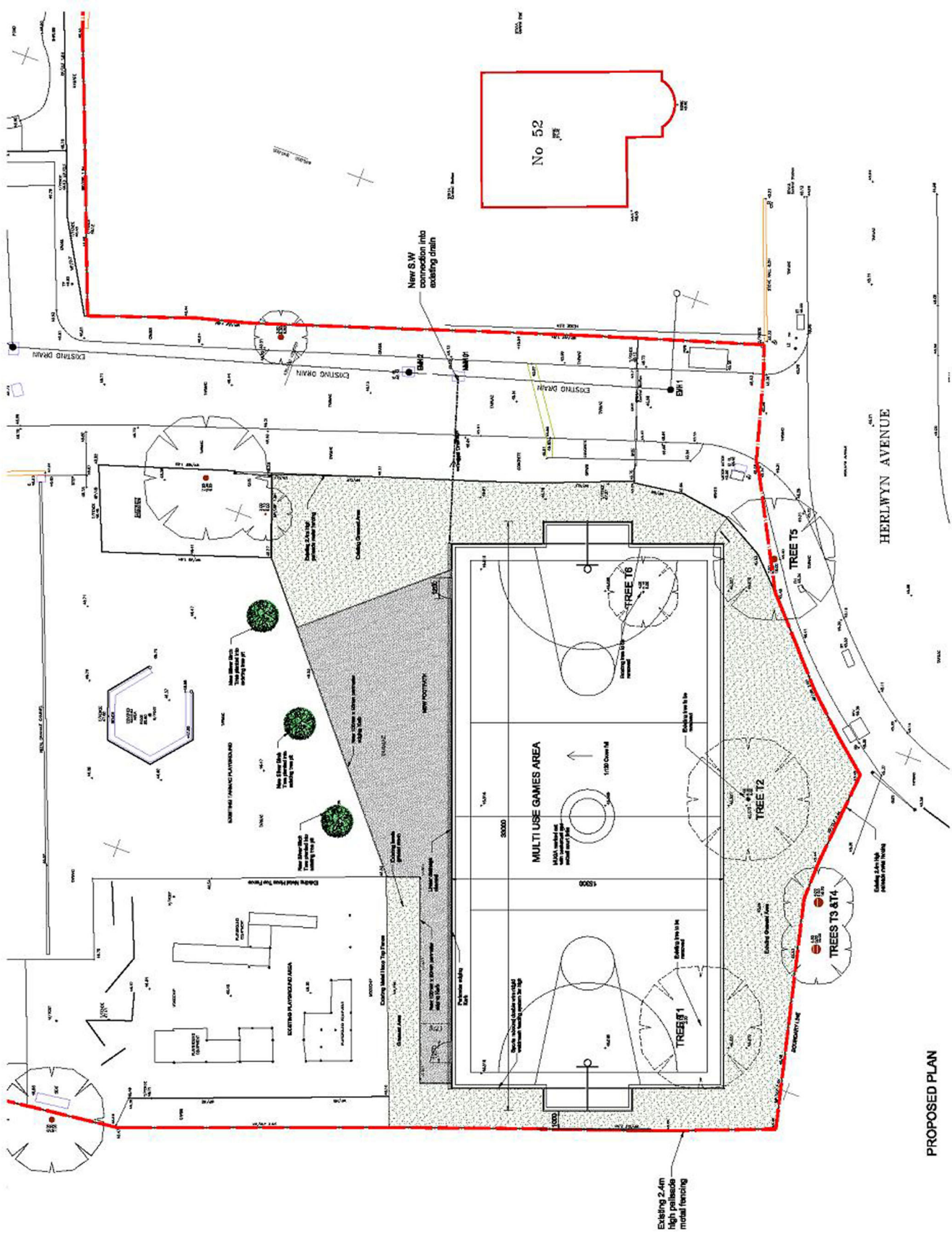


Revised by/checked by:	24/03/12 PH
Drawn by:	24/03/12 PH
Checked by:	24/03/12 PH
Date:	12/03/12

**DHP**  
PROPERTY CONSULTANTS  
243 Brookside Road  
Surrey KT13 9PH  
Tel: 01882 80100  
Fax: 01882 81100  
Email: info@dhp.co.uk  
Web: www.dhp.co.uk

Job:  
Sacred Heart Catholic  
Primary School  
Herliwyn Avenue, Ruislip

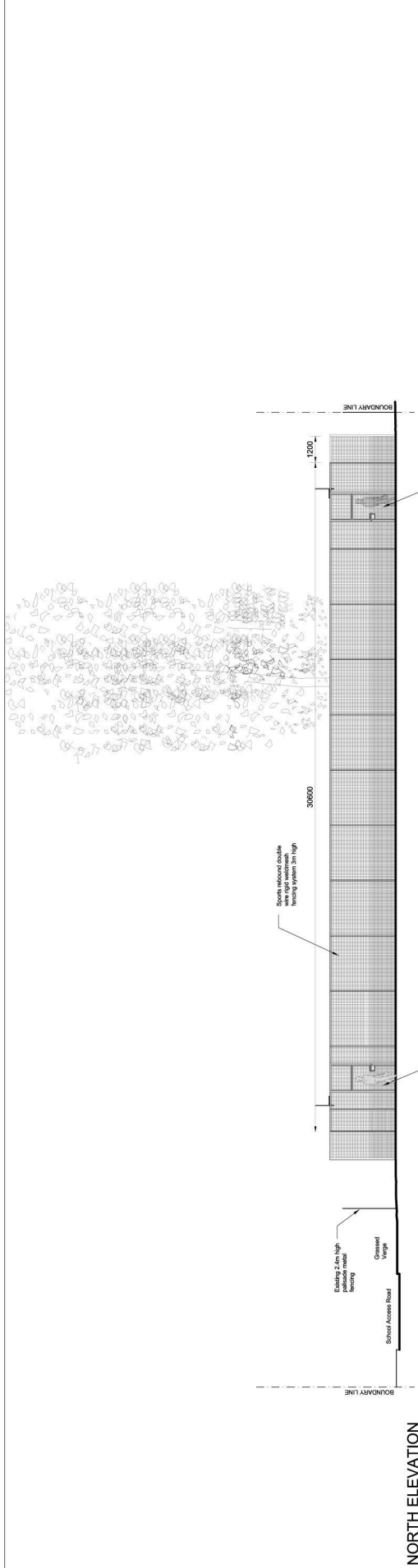
Drawing:	Proposed Multi Games Court Proposed Plan
Scale:	1:1000
Date:	Dec 11
Drawn:	GW
Checked:	
Number:	4710/10
Revision:	B



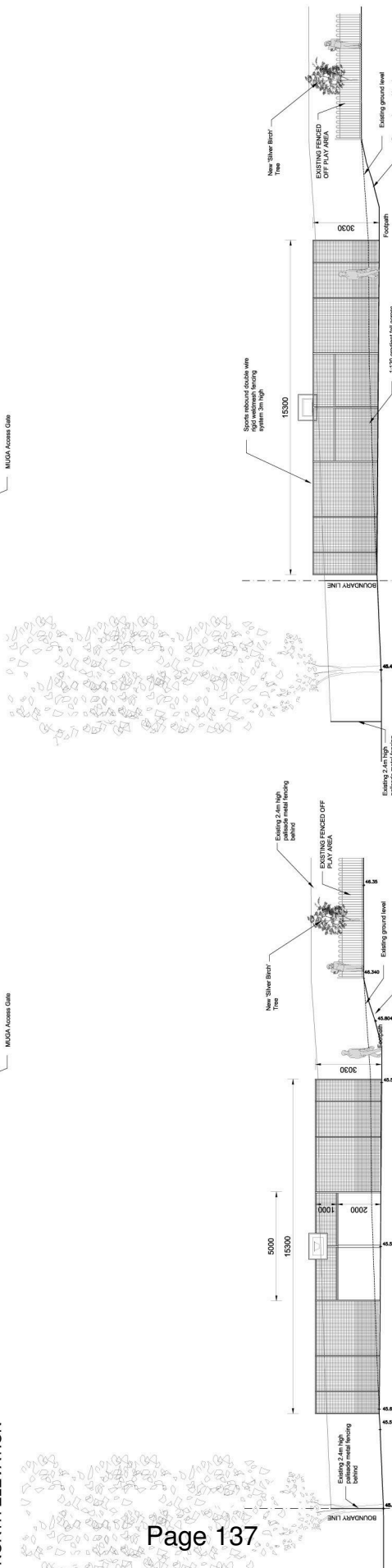
**PROPOSED PLAN**

**NOTES**

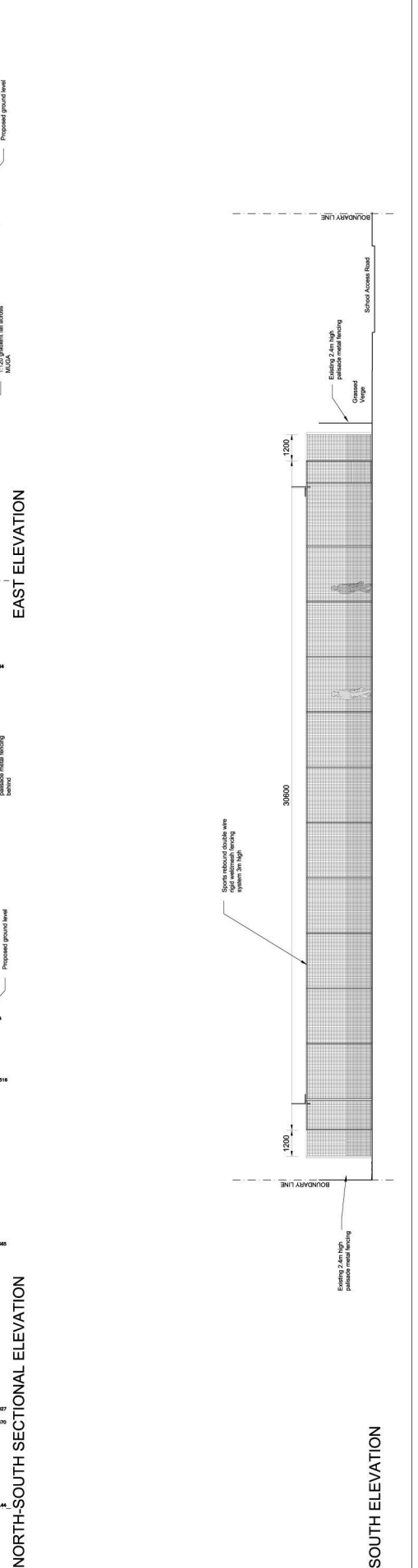
- Do not scale dimensions from this drawing except for L.A. Planning purposes.
- All contractors and sub-contractors must verify sizes and conditions on site before work commences.
- Copyright: This drawing is copyright to DHP and may not be reproduced in any form without prior express written consent.
- Scale Bars in metres/millimetres:  
 0 1200 1500 25m  
 0 100 200 5m  
 0 10 20 1m  
 0 100mm 200mm 500mm  
 0 10 20 50mm  
 Fullsize 1:1



**NORTH ELEVATION**



**EAST ELEVATION**



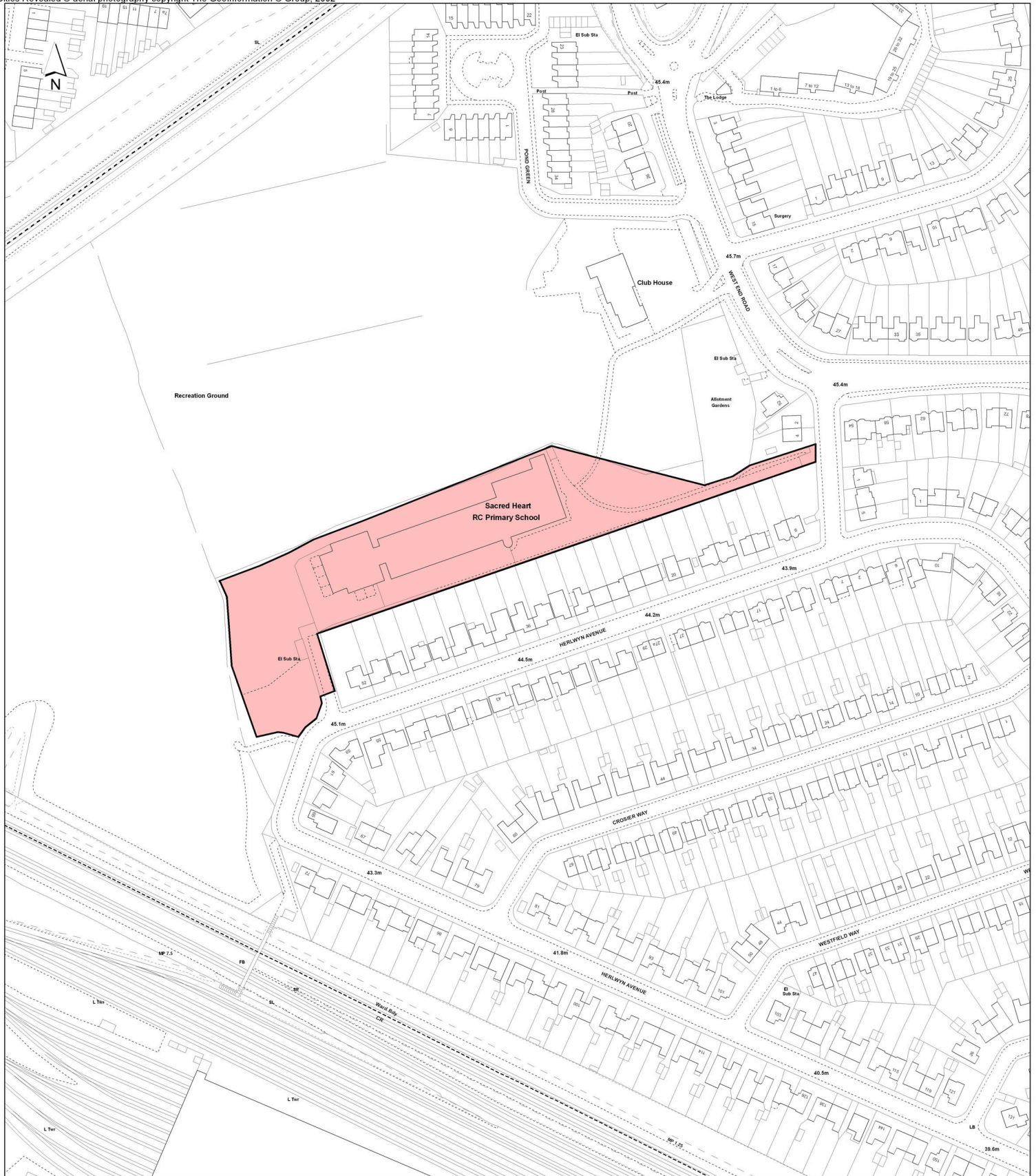
**NORTH-SOUTH SECTIONAL ELEVATION**

**SOUTH ELEVATION**

Rev.	Description	Date	CHK'd
A	Drainage & falls amended	29/02/12	

**DHP**  
**PROPERTY CONSULTANTS**  
 243 Brooklands Road  
 Weybridge KT13 0RH  
 Tel: 01832 850100  
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 Email: [business@dhpuk.co.uk](mailto:business@dhpuk.co.uk)  
 Web: [www.dhpuk.co.uk](http://www.dhpuk.co.uk)

Job	Sacred Heart Catholic Primary School Henlwyn Avenue, Ruislip		
Drawing	Proposed Multi Games Court Proposed Elevations		
Scales	Date	Drawn	Checked
1:100@A1	Dec 11	GW	
Number	Revision		
4710/11	A		



**Notes**

 Site Boundary

For identification purposes only.

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Site Address

**Sacred Heart RC Primary School,  
Herlwyn Avenue,  
Ruislip**

Planning Application Ref:

**386/APP/2012/750**

Planning Committee

**North**

Scale

**1:1,250**

Date

**July 2012**

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**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

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